

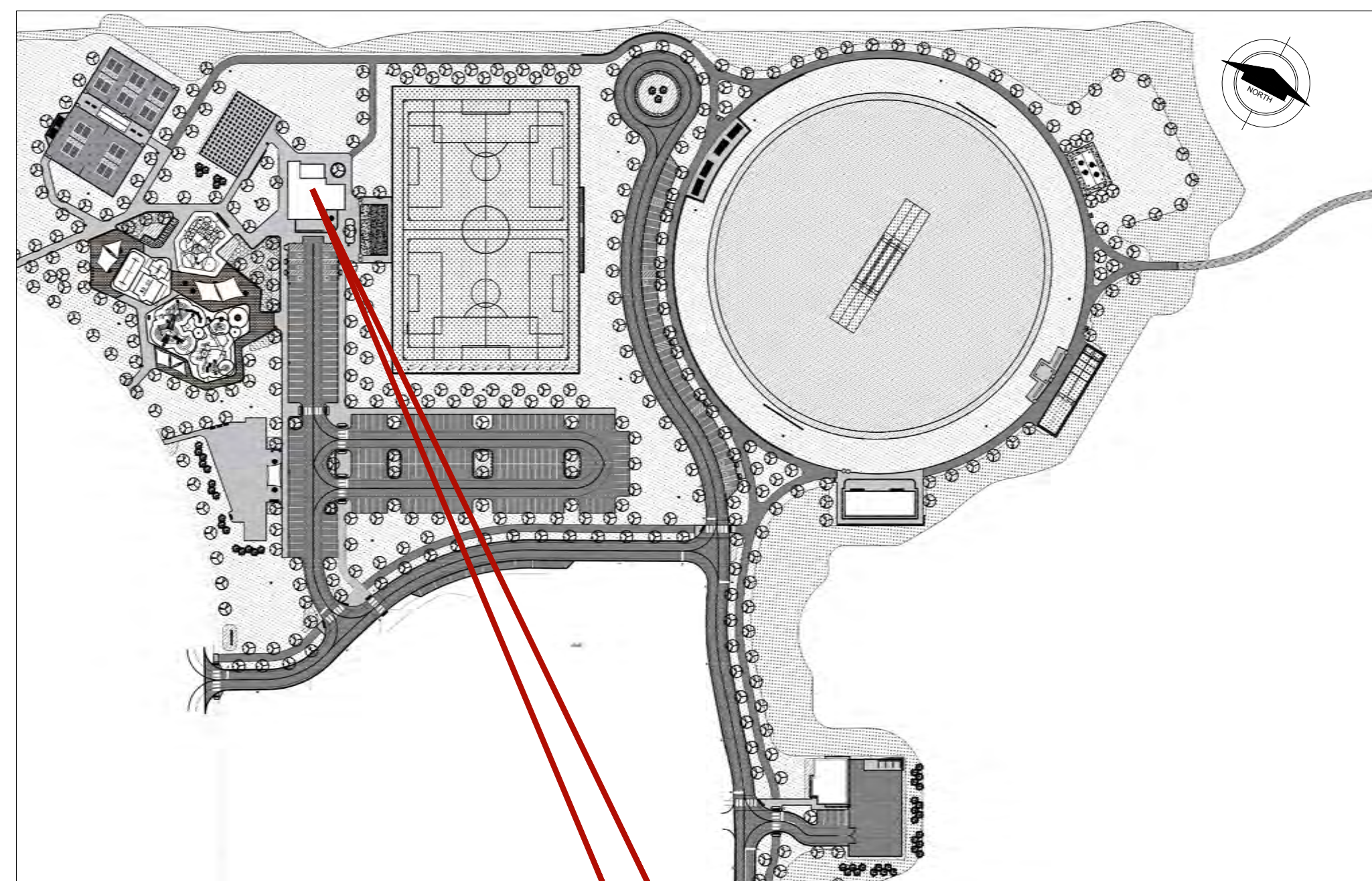
SOUTHWEST COMMUNITY PARK, ACTIVITY HUB BRANTFORD, ONTARIO



01 rendered 3D model
SCALE | NTS



02 location map
SCALE | NTS



03 site plan
SCALE | NTS

**PROPOSED BUILDING
LOCATION**

GENERAL NOTES

- IN ADDITION TO THESE GENERAL NOTES, THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS FOR OTHER SPECIFIC INSTRUCTIONS AS THEY MAY AFFECT THE GENERAL CONSTRUCTION OF THIS PROJECT. DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED. THE CONTRACTOR IS TO CLARIFY WITH THE ARCHITECT AND OWNER ANY SUCH DISCREPANCIES PRIOR TO COMMENCING WORK.
- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS. CONTRACTOR MUST COMPLY WITH CONTRACTORS REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES. ALL REQUIRED PERMITS SHALL BE ACQUIRED BEFORE COMMENCING ANY CONSTRUCTION.
- APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS IN GOOD CONDITION ON THE PREMISES AT ALL TIMES.
- THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS AND OWNER.
- STATED DIMENSIONS TAKE PRECEDENCE OVER GRAPHICS. DO NOT SCALE DRAWINGS TO DETERMINE LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED PRIOR TO CONTINUING WITH WORK IF ANY DISCREPANCIES OCCUR.
- CONTRACTOR SHALL REFER AND CONFORM TO ALL RECOMMENDATIONS AND FINDINGS AS SET FORTH IN SOILS GEOLOGICAL REPORT. THE OWNER AND/OR ARCHITECT ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE FINDINGS, OR FOR THE FINAL RECOMMENDATIONS, GRADING, TRENCHING, ETC.
- CONTACT OWNER FOR INSTRUCTIONS PRIOR TO THE CONTINUATION OF WORK SHOULD ANY UNUSUAL CONDITIONS BECOME APPARENT DURING GRADING OR FOUNDATION CONSTRUCTION. EXISTING ELEVATIONS AND LOCATIONS TO BE JOINTED SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
- MEANS, METHODS, SAFETY MEASURES, CONSTRUCTION SITE PROTECTION AND TEMPORARY SERVICES REQUIRED DURING CONSTRUCTION SHALL BE AT THE SOLE EXPENSE AND THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY DETAILS OR NOTES REQUIRING FIELD VERIFICATION BY THE CONTRACTOR ARE TO BE DONE DURING THE BID PROCESS. DISCREPANCIES FOUND AFTER THE GENERAL CONTRACTOR IS SELECTED WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND CORRECTED AT HIS EXPENSE.

SYMBOLS

EXTERIOR/ INTERIOR ELEVATION REFERENCE	ELEVATION NUMBER SHEET NUMBER	WINDOW SCHEDULE REFERENCE	WINDOW NUMBER INDICATES WINDOW
DETAIL REFERENCE	DETAIL NUMBER SHEET NUMBER	DOOR SCHEDULE REFERENCE	DOOR NUMBER
BUILDING SECTION REFERENCE	SECTION NUMBER SHEET NUMBER	WALL TYPE REFERENCE	WALL TYPE NUMBER INDICATES WALL
WALL SECTION REFERENCE	SECTION NUMBER SHEET NUMBER	SPACE DESIGNATION	ROOM SPACE NAME SPACE NUMBER
REVISION SYMBOL	REVISION NUMBER	CODED NOTE REFERENCE	CODED NOTE NUMBER SUPPLEMENTARY NOTE
ELEVATION HEIGHT REFERENCE	HEIGHT ITEM REFERENCE	CODED NOTE REFERENCE	FINISHING TYPE NUMBER FINISHING TYPE NOTE

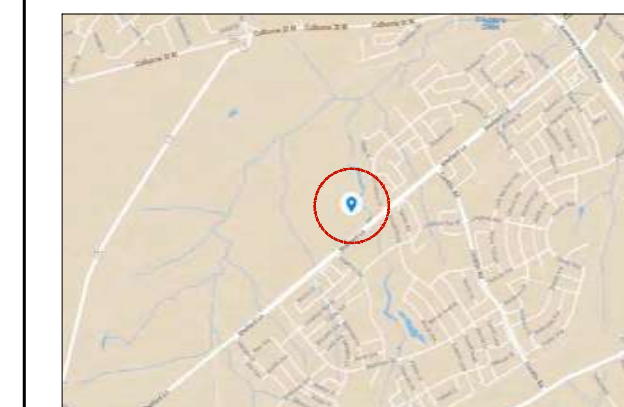
DRAWING INDEX

NO.	TITLE	REVISION
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A2.01	CONSTRUCTION PLAN AT WINDOW LEVEL	
A3.00	REFLECTED CEILING PLAN	
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MATERIAL INDICATIONS

EARTH	GRANULAR FILL
CONCRETE	BRICK
CONCRETE MASONRY	STONE
WOOD, FINISH GRAIN	STEEL OR METAL
WOOD, END GRAIN (NON-STRUCTURAL)	WOOD FRAMING, CONTINUOUS MEMBER
WOOD BLOCKING, INTERRUPTED MEMBER	PLYWOOD, EDGE
ACOUSTIC TILE	GYPSUM BOARD
BATT INSULATION	RIGID INSULATION / E.F.F.S.
SHEAR WALL	

NOTE: MATERIALS SHOWN ARE FOR WALL SECTIONS AND/OR LARGE SCALE DETAILS ONLY. MATERIAL PATTERNS FOR SMALL SCALE PLANS AND/OR ELEVATIONS MAY VARY. REFER TO INDIVIDUAL LEGENDS AND/OR SCHEDULES FOR VARIATIONS.



KEY MAP
N.T.S.

PYLONS
architecture inc.
Architecture • Interior Design • Project Management
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reviewed by RN
drawn by RN

DATE SEP 2022

scale AS SHOWN

drawing title
**ACTIVITY HUB
COVER SHEET**

drawing number
A1.00
client
CITY OF BRANTFORD

project title
**SOUTHWEST
COMMUNITY PARK,
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346 SHELLARD LN, BRANTFORD, ON
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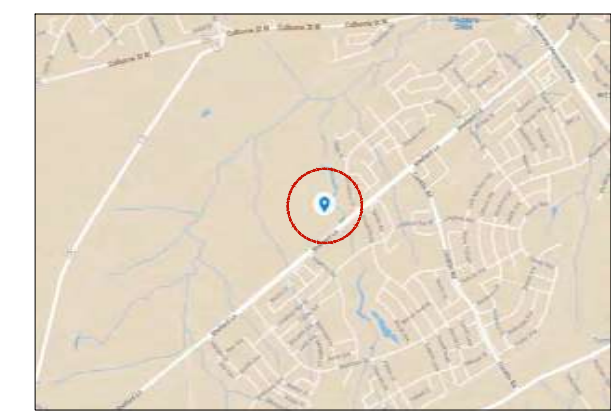
ABBREVIATIONS

ABV ABOVE	DTL DETAIL	GB GYPSUM WALL	OFF OFFICE	SCH SCHEDULE
AFF ABOVE FINISHED FLOOR	DIA DIAMETER	GL GLASS	O.C. ON CENTER(S)	SECT SECTION
AL ALUMINUM	DIM DIMENSION	GVS GALVANIZED STEEL	OPN OPENING	SHT SHEET
A/C AIR CONDITIONING	DN DOWN	HDW HARDWARE	OPH OPPOSITE HAND	SHT SIMILAR
ARCH ARCHITECT(U)RAL	DWR DRAWER	HMIN HOLLOW METAL	OD OUTSIDE DIMENSION	SC SOLID CORE
@ AT	EA EACH	HM HOLLOW METAL		SLS SUR SOLID SURFACE
BCT BABY CHANGE TABLE	ECB EMERGENCY CALL BUTTON	HVAC HEATING/VENTILATION AIR CONDITIONING	PT PAINTED)	SPEC SPECIFICATION
BLK BLOCK(ING)	EGE EDGE BAND	IN (") INCH	PLM PLASTIC LAMINATE	SS STAINLESS STEEL
BOT BOTTOM	ELEV ELEVATION	INT INSIDE DIMENSION	PLY PLYWOOD	STO STORAGE
BLDG BUILDING	EQ EQPT	INT INTERIOR	PM PROJECT MANAGER	STR STRUCTURAL
CH COAT HOOK	EXP EXISTING	MFG MECH	POL POLISHED PORCELAIN	SUSP SUSPENDED
CLG CEILING	EXT EXTERIOR	MISC MISC	PROJ PROJECT	TEL TELEPHONE
CIRC CIRCUIT	EG EXTERIOR GRADE	MM MILLIMETERS	P TR TREATED	TYP TYPICAL
CL CLEAR	EQPT EQUIPMENT	MULL MULLION	REFR REFERENCE / REFRIGERATOR	THRU THRU
COL COLUMN	EQPT EXISTING	N/A NOT APPLICABLE		UNO UNLESS NOTED OTHERWISE
CONC CONCRETE	EQPT EXTERIOR	NIC NOT IN CONTRACT	REM REMOVE(D)ABLE	VCT VINYL COMPOSITION TILE
CONST CONSTRUCTION	FT (') FEET, FOOT	NOM NOMINAL	REQ REQUIRED	W/ WITH
CONT CONTINUOUS (OR) CONTINUE	FIN FINISH(D)	NTS NOT TO SCALE	RES RESILIENT	W/O WITHOUT
CT CURRENT	FL FLOOR DRAIN		REV REVISED ROOM	WD WOOD
CTR TRANSFORMER COUNTER	FLUR FLOOR FINISH		RO ROUGH OPENING	
	F.R. FIRE RESISTANCE RATING		RND ROUND	
	FUR FURRED(ING)			

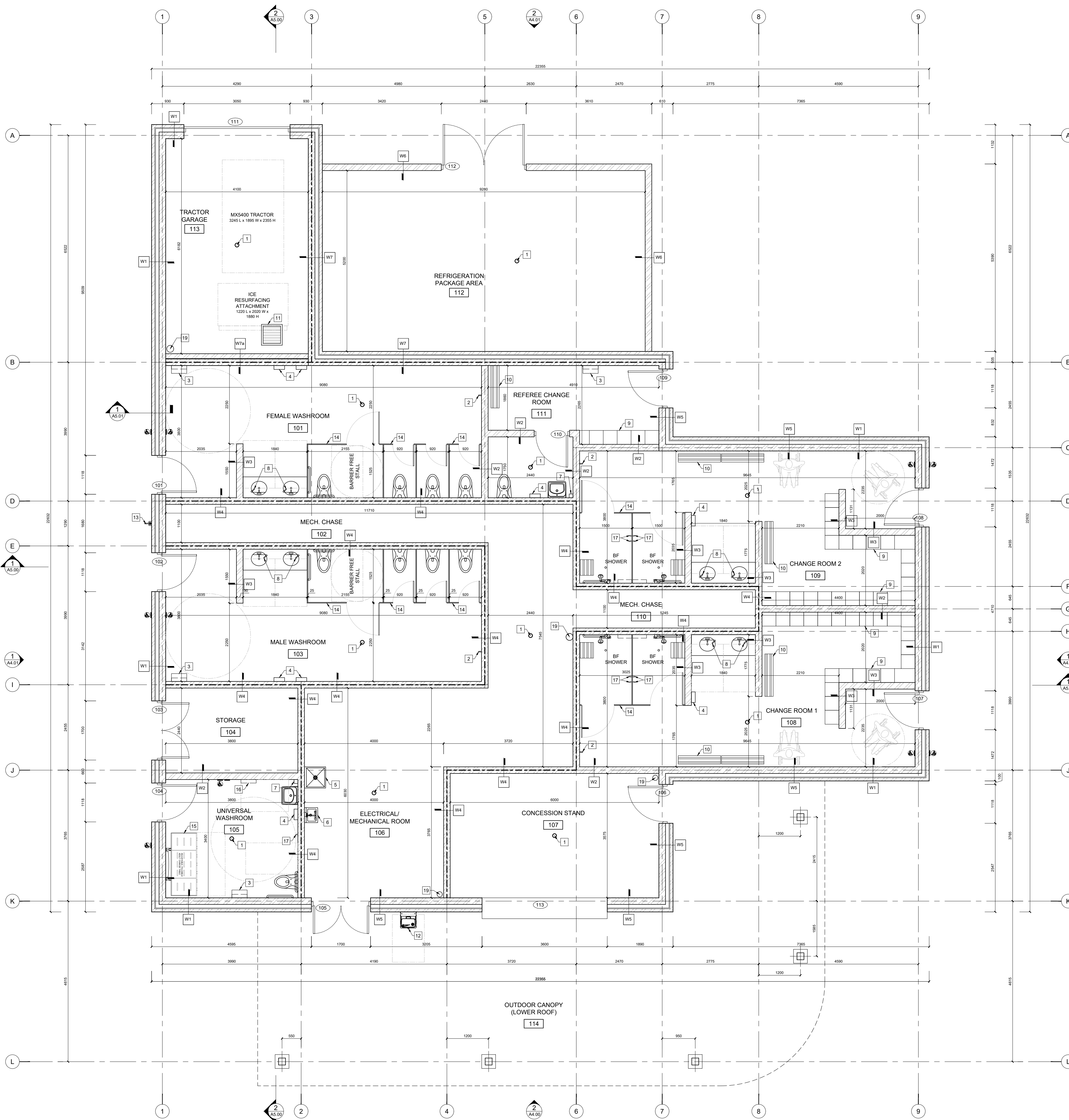
PROJECT CONTACT LIST

OWNER CITY OF BRANTFORD 58 DALHOUSIE STREET BRANTFORD, ON N3T 2J2	LANDSCAPE ARCHITECT LANDSCAPE PLANNING LTD 95 MURAL STREET, SUITE 207 RICHMOND HILL, ON L4B 3G2 PAUL GARDNER 905-669-6838	ARCHITECT PYLONS ARCHITECTURE INC 20 RIVERMEDE ROAD, UNIT# 101 CONCORD, ON L4K 3N3 PAUL GARDNER 289-437-1375 EXT: 100	STRUCTURAL ENGINEER PINPOINT ENGINEERING B5-8841 GEORGE BOLTON PARKWAY BOLTON, ON L7E 2X8 ANTHONY PETRUCCI 647-639-0089	MECHANICAL ENGINEER TIGRIS ENGINEERING INC 6751 PROFESSIONAL CRT., UNIT# 203 MISSISSAUGA, ON L4V 1Y3 SALEH AL-SAMARRAI 905-462-7524
ELECTRICAL ENGINEER TIGRIS ENGINEERING INC 6751 PROFESSIONAL CRT., UNIT# 203 MISSISSAUGA, ON L4V 1Y3 SALEH AL-SAMARRAI 905-462-7524				

landscape planning
LANDSCAPE ARCHITECTS
Suite 207, 95 Mural Street, Richmond Hill, Ontario L4B 3G2,
Tel. 905.669.6838, www.landscapeplan.ca



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CONSTRUCTION PLAN GENERAL NOTES

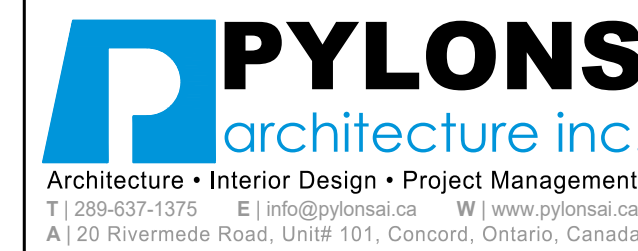
1. ALL PENETRATIONS THROUGH FIRE WALLS, EITHER STRUCTURAL, MECHANICAL OR ELECTRICAL, ARE TO BE PACKED WITH MINERAL FIBER INSULATION AND CAULKED TO MAINTAIN SEPARATION INTEGRITY.
2. DIMENSIONS ARE FROM FINISH FACE OF WALLS, REFER TO FOUNDATION PLAN FOR FACE OF CONCRETE DIMENSIONS.
3. PROVIDE BULLNOSE CONCRETE BLOCK AT ALL CORNERS AND EXPOSED BLOCK EDGES, FIRST COURSE AND TOP COURSE TO BE A STANDARD BLOCK WITH SQUARE EDGE TO ACCEPT WALL BASE AND CEILING TILE (TYPICAL).
4. PROVIDE BRACING AT THE TOP OF EACH NEW CONCRETE BLOCK WALL TO STRUCTURE ABOVE.
5. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL COMPONENTS.
6. REFER TO ELECTRICAL/MECHANICAL DRAWINGS FOR ALL ELECTRICAL/MECHANICAL COMPONENTS.
7. STRUCTURAL, MECHANICAL AND ELECTRICAL ENGINEERS' DRAWINGS TO SUPERCEDE STRUCTURAL, MECHANICAL AND ELECTRICAL INFORMATION SHOWN IN THIS DRAWING. CONTRACTOR TO REPORT ANY CONFLICTED INFORMATION TO ARCHITECT AS SOON AS POSSIBLE.

CONSTRUCTION PLAN LEGEND

SYM	DISCRIPTION
ROOM	ROOM NAME ROOM NUMBER
1 A1.00	BUILDING SECTION NUMBER SHEET NUMBER
1 A1.00	WALL SECTION NUMBER SHEET NUMBER
1 A1.00	ELEVATION NUMBER SHEET NUMBER
103	DOOR NUMBER
10	BARRIER FREE PUSH BUTTON
W1	WALL TYPE NUMBER
W01	WINDOW NUMBER
1	CODED NOTE
---	1 HOUR FIRE RESISTANCE RATING

CONSTRUCTION PLAN NOTES

- | | | |
|---|--|--|
| 1 FLOOR DRAIN. REFER TO PLUMBING DRAWINGS FOR DETAILS. | 11 CATCH BASIN. REFER TO PLUMBING DRAWINGS FOR DETAILS. | 21 ROOF HATCH. REFER TO CONSTRUCTION DETAILS. |
| 2 HOSE BIB IN VANDAL PROOF BOX. REFER TO PLUMBING DRAWINGS FOR DETAILS. | 12 WATER FOUNTAIN & BOTTLE FILING STATION. REFER TO PLUMBING DRAWINGS FOR DETAILS. | 22 WALL MOUNTED FIXED LADDER FOR ROOF ACCESS. REFER TO SPECS FOR DETAILS. |
| 3 WALL MOUNTED GARBAGE RECEPTACLE. REFER TO SPECS FOR DETAILS. | 13 EXTERIOR VANDAL PROOF HOSE BIB. REFER TO PLUMBING DRAWINGS FOR DETAILS. | |
| 4 ELECTRICAL HAND DRYER. REFER TO SPECS FOR DETAILS. | 14 FLOOR MOUNTED, PRE-FINISHED TOILET PARTITIONS. REFER TO SPECS FOR DETAILS. | |
| 5 MOP SINK WITH DRAIN. REFER TO PLUMBING DRAWINGS FOR DETAILS. | 15 ADULT CHANGE TABLE. REFER TO SPECS FOR DETAILS. | |
| 6 EYE WASH STATION. REFER TO PLUMBING DRAWINGS FOR DETAILS. | 16 STAINLESS STEEL SHELF. REFER TO SPECS FOR DETAILS. | |
| 7 WALL MOUNTED SOAP DISPENSER. REFER TO SPECS FOR DETAILS. | 17 RETRACTABLE COAT HOOK. REFER TO SPECS FOR DETAILS. | |
| 8 COUNTER MOUNTED SOAP DISPENSER. REFER TO SPECS FOR DETAILS. | 18 LINEAR TRENCH DRAIN. REFER TO MECHANICAL DRAWINGS FOR DETAILS. | |
| 9 DOUBLE TIER LOCKERS. REFER TO SPECS FOR DETAILS. | 19 ROOF DRAIN. REFER TO PLUMBING DRAWINGS AND SPECS FOR DETAILS. | |
| 10 FIXED BENCH. REFER TO SPECS FOR DETAILS. | 20 ALUMINUM WOOD PARTITION. REFER TO SCHEDULE FOR DETAILS. | |



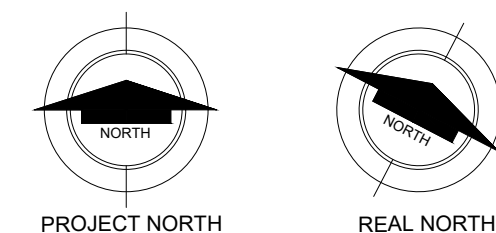
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date SEP 2022

scale AS SHOWN

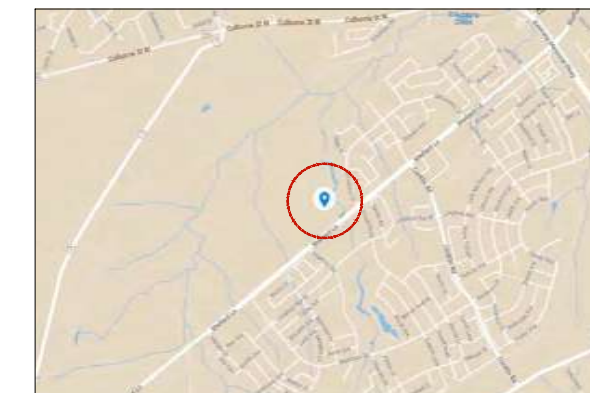


drawing title
**ACTIVITY HUB
CONSTRUCTION PLAN**

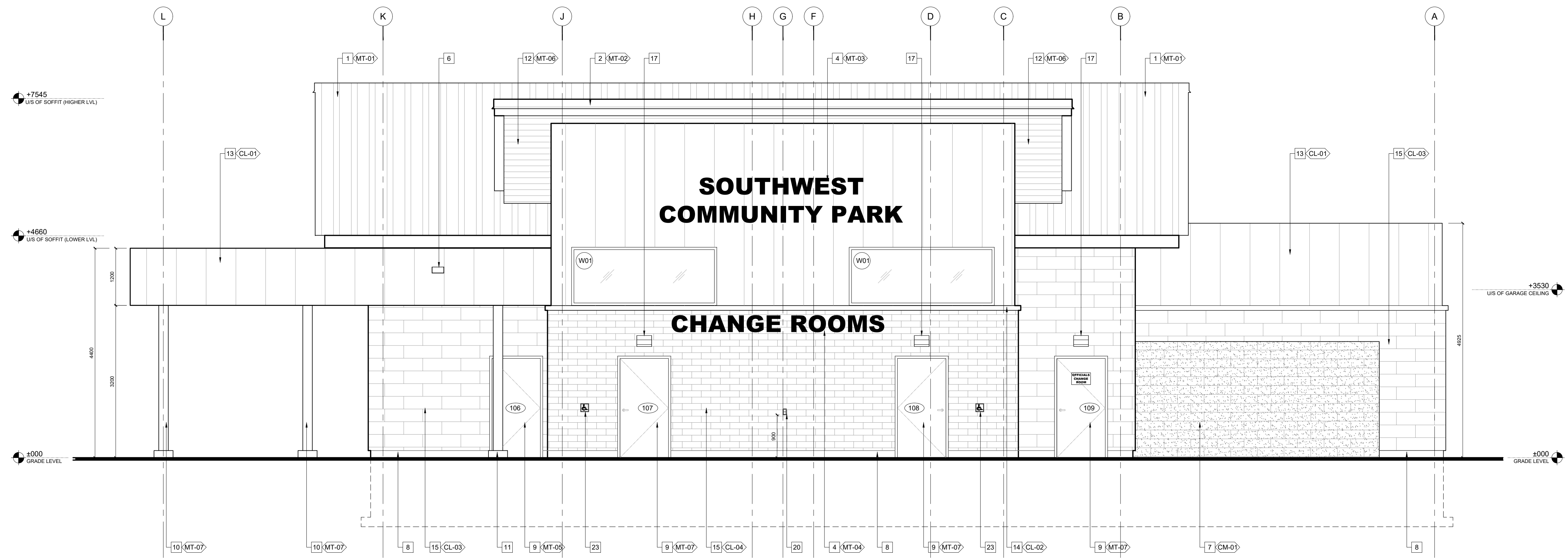
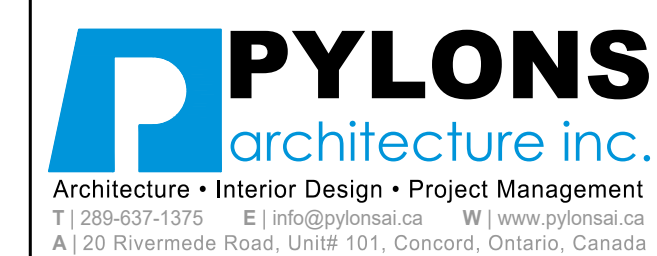
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client
CITY OF BRANTFORD

project title
**SOUTHWEST
COMMUNITY PARK,
FACILITY BUILDINGS**
346 SHELLARD LN, BRANTFORD, ON
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KEY MAP
N.T.S.



01 east elevation
SCALE | 1:50

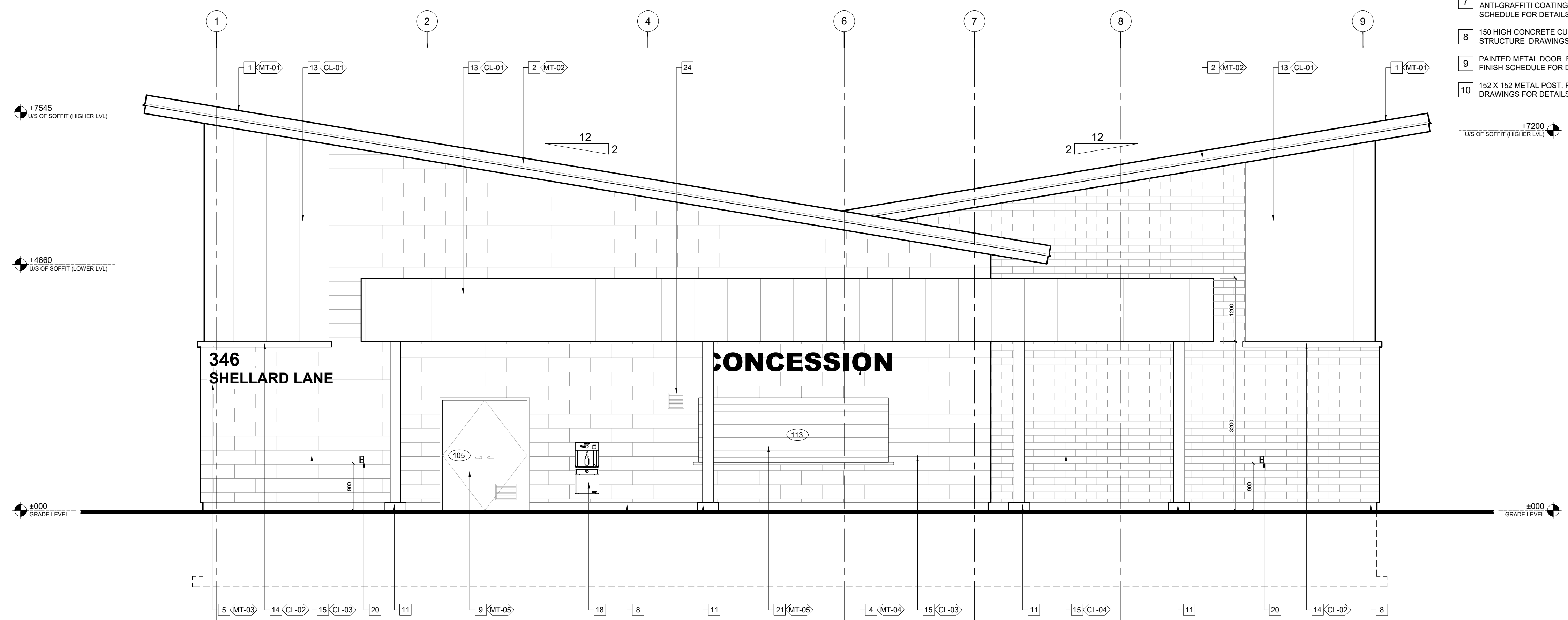
EXTERIOR ELEVATIONS/BUILDING SECTIONS NOTES

- 1 STANDING SEAM METAL ROOF. REFER TO FINISHING SCHEDULE & SPECS FOR DETAILS.
- 2 PRE-FINISHED ALUMINUM FASCIA. REFER TO FINISHING SCHEDULE FOR DETAILS.
- 3 STAINLESS STEEL LETTER SIGN. FONT IS ARIAL BLACK. LETTERS ARE 60 THICK AND 460 HIGH. REFER TO FINISHING SCHEDULE FOR DETAILS.
- 4 STAINLESS STEEL LETTER SIGN. FONT IS ARIAL BLACK. LETTERS ARE 50 THICK AND 350 HIGH. REFER TO FINISHING SCHEDULE FOR DETAILS.
- 5 STAINLESS STEEL LETTER SIGN. FONT IS ARIAL BLACK. LETTERS ARE 50 THICK AND 250 HIGH. REFER TO FINISHING SCHEDULE FOR DETAILS.
- 6 SECONDARY EMERGENCY ROOF SCUPPER TO C.R.C.A. STANDARDS.
- 7 CONCRETE MASONRY UNITS WITH ANTI-GRAFFITI COATING. REFER TO FINISHING SCHEDULE FOR DETAILS.
- 8 150 HIGH CONCRETE CURB. REFER TO STRUCTURE DRAWINGS & SPECS FOR DETAILS.
- 9 PAINTED METAL DOOR. REFER TO DOOR & FINISH SCHEDULE FOR DETAILS.
- 10 152 X 152 METAL POST. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- 11 400 X 400 X 100 HIGH CONCRETE COLUMN BASE. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- 12 PRE-FINISHED METAL SOFFIT PANELS. REFER TO FINISHING SCHEDULE & SPECS FOR DETAILS.
- 13 PRE-FINISHED METAL SIDING. REFER TO FINISH SCHEDULE & SPECS FOR DETAILS.
- 14 MANUFACTURED STONE SILL. REFER TO FINISH SCHEDULE & SPECS FOR DETAILS.
- 15 MANUFACTURED STONE/BRICK CLADDING. REFER TO FINISH SCHEDULE & SPECS FOR DETAILS.
- 16 SNOW/GLAZE GUARD. REFER TO SPECS FOR DETAILS.
- 17 OUTDOOR WALL LUMINAIRE. REFER TO RCP & ELECTRICAL DRAWINGS FOR DETAILS.
- 18 WATER FOUNTAIN/BOTTLE FILLER. REFER TO PLUMBING DRAWINGS FOR DETAILS.
- 19 EXTERIOR VANDAL PROOF HOSE BIB. REFER TO PLUMBING DRAWINGS & SPECS FOR DETAILS.
- 20 EXTERIOR ELECTRICAL OUTLET. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.
- 21 ROLL-UP WINDOW. REFER TO DOOR SCHEDULES AND FINISHING SCHEDULE FOR DETAILS.
- 22 ROLL-UP DOOR. REFER TO DOOR SCHEDULES AND FINISHING SCHEDULE FOR DETAILS.
- 23 POWER PUSH BUTTON FOR AUTOMATIC DOORS. REFER TO SPECS FOR DETAILS.
- 24 WALL MOUNTED EXHAUST FAN/LOUVER. REFER TO MECHANICAL DRAWINGS FOR DETAILS.
- 25 ROOF DRAINAGE SYSTEM. REFER TO SPECS FOR DETAILS.

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reviewed by: RN
drawn by: RN
date: SEP 2022
scale: AS SHOWN



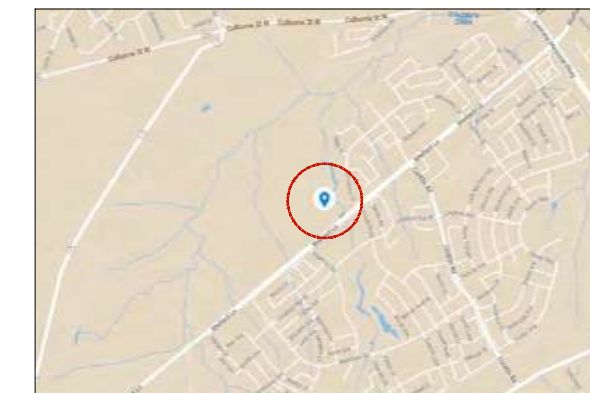
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SCALE | 1:50

drawing title
**ACTIVITY HUB
EXTERIOR ELEVATIONS 1**

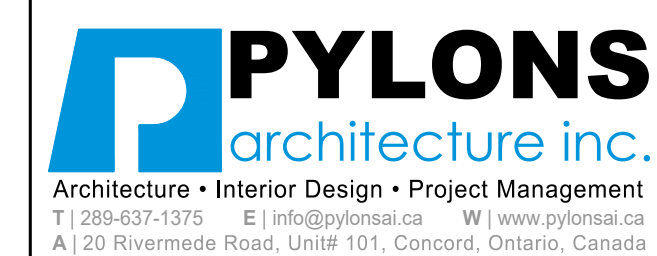
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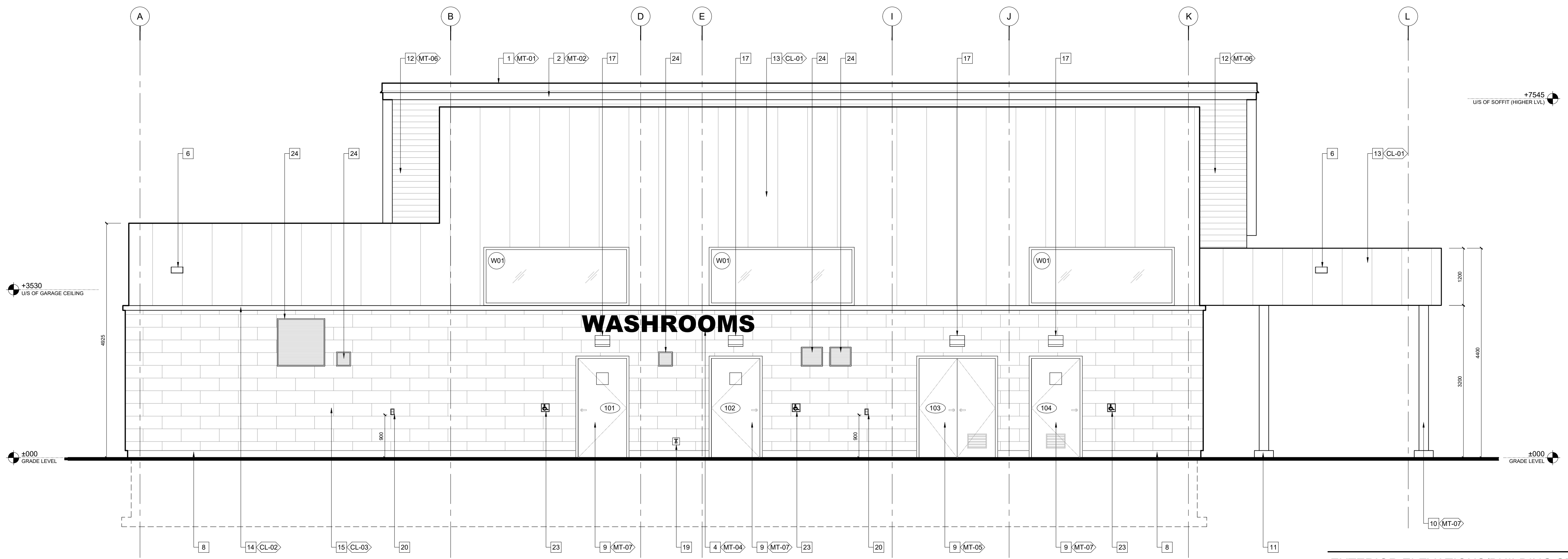
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**ACTIVITY HUB
EXTERIOR ELEVATIONS 2**

drawing number
A4.01
client
CITY OF BRANTFORD

project title
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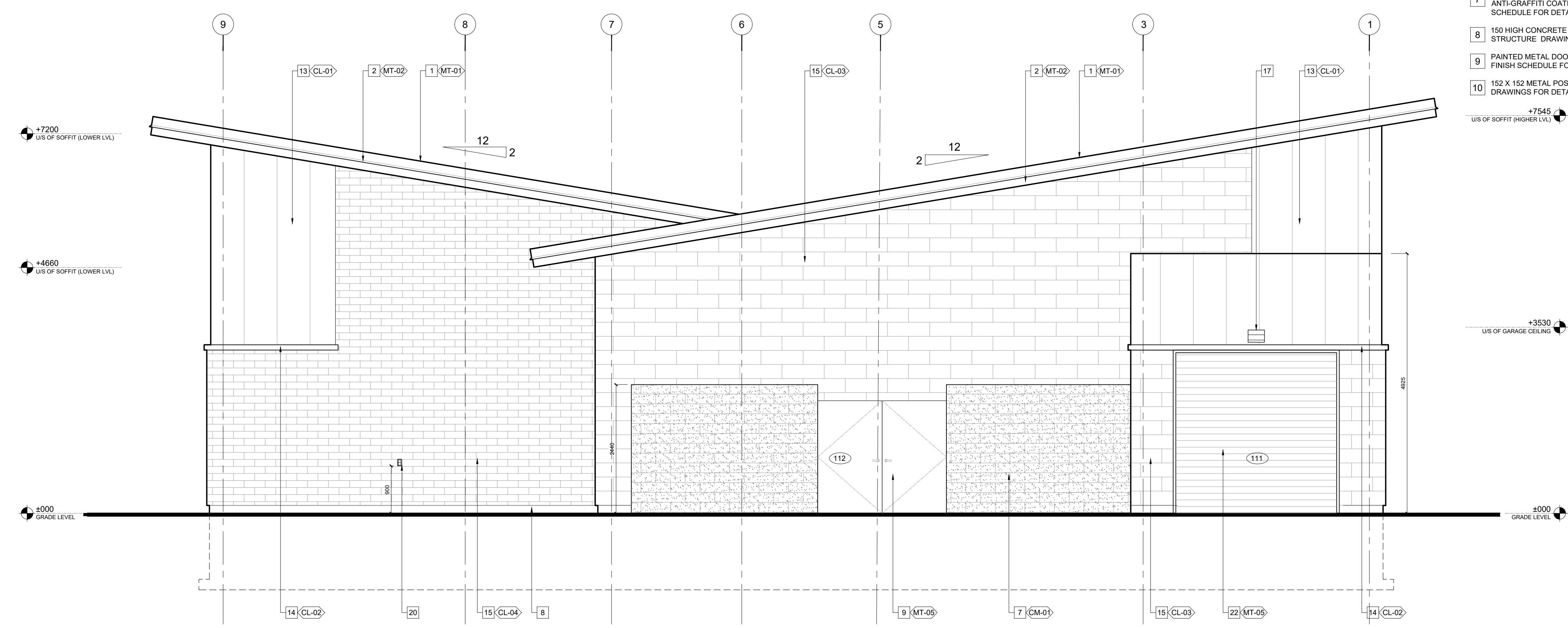
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01 west elevation
SCALE 1:50

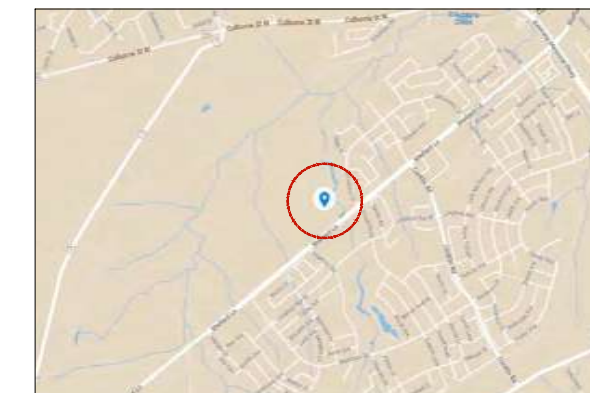
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- CONCRETE MASONRY UNITS WITH ANTI-GRAFFITI COATING. REFER TO FINISHING SCHEDULE FOR DETAILS.
- 150 HIGH CONCRETE CURB. REFER TO STRUCTURE DRAWINGS & SPECS FOR DETAILS.
- PAINTED METAL DOOR. REFER TO DOOR & FINISH SCHEDULE FOR DETAILS.
- 152 X 152 METAL POST. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- 400 X 400 X 100 HIGH CONCRETE COLUMN BASE. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- PRE-FINISHED METAL SOFFIT PANELS. REFER TO FINISHING SCHEDULE & SPECS FOR DETAILS.
- PRE-FINISHED METAL SIDING. REFER TO FINISH SCHEDULE & SPECS FOR DETAILS.
- MANUFACTURED STONE SILL. REFER TO FINISH SCHEDULE & SPECS FOR DETAILS.
- MANUFACTURED STONE/ BRICK CLADDING. REFER TO FINISH SCHEDULE & SPECS FOR DETAILS.
- SNOW/GICE GUARD. REFER TO SPECS FOR DETAILS.
- OUTDOOR WALL LUMINAIRE. REFER TO RCP & ELECTRICAL DRAWINGS FOR DETAILS.
- WATER FOUNTAIN/BOTTLE FILLER. REFER TO PLUMBING DRAWINGS FOR DETAILS.
- EXTERIOR VANDAL PROOF HOSE BIB. REFER TO PLUMBING DRAWINGS & SPECS FOR DETAILS.
- EXTERIOR ELECTRICAL OUTLET. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.
- ROLL-UP WINDOW. REFER TO DOOR SCHEDULES AND FINISHING SCHEDULE FOR DETAILS.
- POWER PUSH BUTTON FOR AUTOMATIC DOORS. REFER TO SPECS FOR DETAILS.
- WALL MOUNTED EXHAUST FAN/ LOUVER. REFER TO MECHANICAL DRAWINGS FOR DETAILS.
- ROOF DRAINAGE SYSTEM. REFER TO SPECS FOR DETAILS.



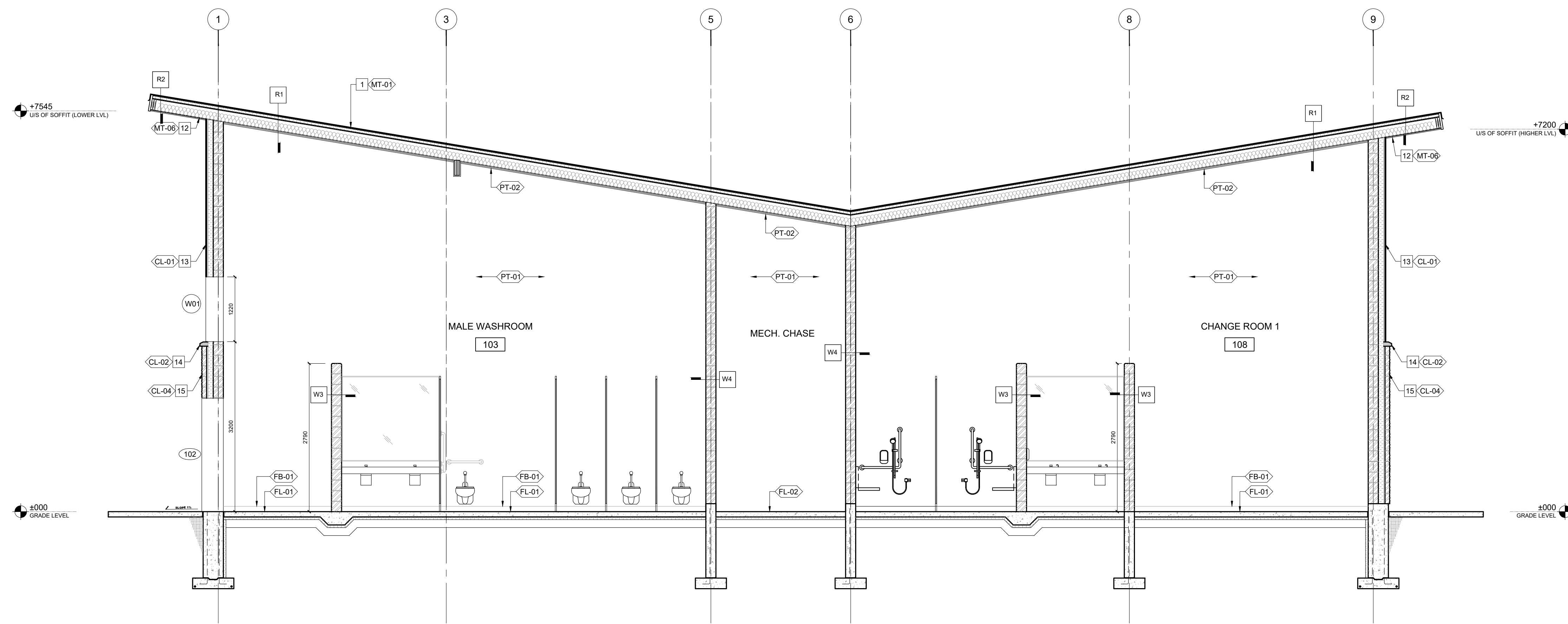
02 north elevation
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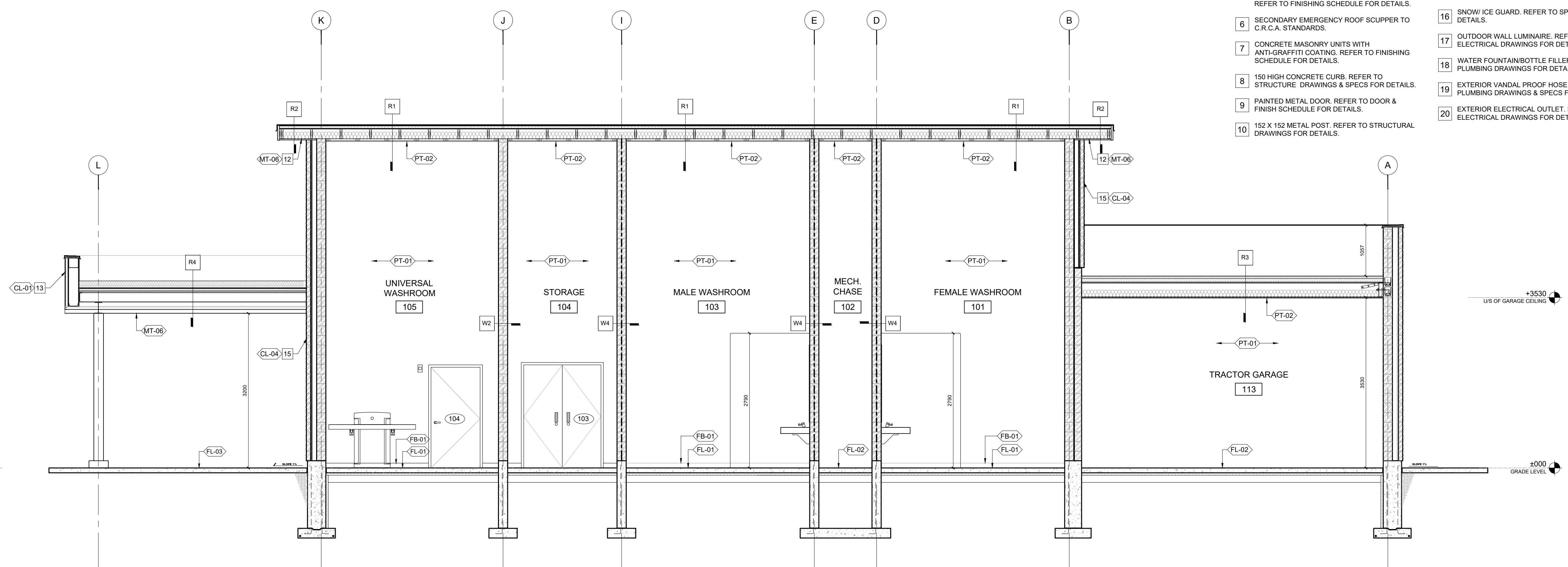
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01 building section 1
SCALE | 1:50

EXTERIOR ELEVATIONS/BUILDING SECTIONS NOTES

- | | | |
|--|--|--|
| <p>1 STANDING SEAM METAL ROOF. REFER TO FINISHING SCHEDULE & SPECS FOR DETAILS.</p> <p>2 PRE-FINISHED ALUMINUM FASCIA. REFER TO FINISHING SCHEDULE FOR DETAILS.</p> <p>3 STAINLESS STEEL LETTER SIGN, FONT IS ARIAL BLACK, LETTERS ARE 50 THICK AND 450 HIGH. REFER TO FINISHING SCHEDULE FOR DETAILS.</p> <p>4 STAINLESS STEEL LETTER SIGN, FONT IS ARIAL BLACK, LETTERS ARE 50 THICK AND 350 HIGH. REFER TO FINISHING SCHEDULE FOR DETAILS.</p> <p>5 STAINLESS STEEL LETTER SIGN, FONT IS ARIAL BLACK, LETTERS ARE 50 THICK AND 250 HIGH. REFER TO FINISHING SCHEDULE FOR DETAILS.</p> <p>6 SECONDARY EMERGENCY ROOF SCUPPER TO C.R.C.A. STANDARDS.</p> <p>7 CONCRETE MASONRY UNITS WITH ANTI-GRAFFITI COATING. REFER TO FINISHING SCHEDULE FOR DETAILS.</p> <p>8 150 HIGH CONCRETE CURB. REFER TO STRUCTURE DRAWINGS & SPECS FOR DETAILS.</p> <p>9 PAINTED METAL DOOR. REFER TO DOOR & FINISH SCHEDULE FOR DETAILS.</p> <p>10 152 X 152 METAL POST. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.</p> | <p>11 400 X 400 X 100 HIGH CONCRETE COLUMN BASE. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.</p> <p>12 PRE-FINISHED METAL SOFFIT PANELS. REFER TO FINISHING SCHEDULE & SPECS FOR DETAILS.</p> <p>13 PRE-FINISHED METAL SIDING. REFER TO FINISH SCHEDULE & SPECS FOR DETAILS.</p> <p>14 MANUFACTURED STONE SILL. REFER TO FINISH SCHEDULE & SPECS FOR DETAILS.</p> <p>15 MANUFACTURED STONE/ BRICK CLADDING. REFER TO FINISH SCHEDULE & SPECS FOR DETAILS.</p> <p>16 SNOW/ ICE GUARD. REFER TO SPECS FOR DETAILS.</p> <p>17 OUTDOOR WALL LUMINAIRE. REFER TO RCP & ELECTRICAL DRAWINGS FOR DETAILS.</p> <p>18 WATER FOUNTAIN/BOTTLE FILLER. REFER TO PLUMBING DRAWINGS FOR DETAILS.</p> <p>19 EXTERIOR VANDAL PROOF HOSE BIB. REFER TO PLUMBING DRAWINGS & SPECS FOR DETAILS.</p> <p>20 EXTERIOR ELECTRICAL OUTLET. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.</p> | <p>21 ROLL-UP WINDOW. REFER TO DOOR SCHEDULES AND FINISHING SCHEDULE FOR DETAILS.</p> <p>22 ROLL-UP DOOR. REFER TO DOOR SCHEDULES AND FINISHING SCHEDULE FOR DETAILS.</p> <p>23 POWER PUSH BUTTON FOR AUTOMATIC DOORS. REFER TO SPECS FOR DETAILS.</p> <p>24 WALL MOUNTED EXHAUST FAN/ LOUVER. REFER TO MECHANICAL DRAWINGS FOR DETAILS.</p> <p>25 ROOF DRAINAGE SYSTEM. REFER TO SPECS FOR DETAILS.</p> |
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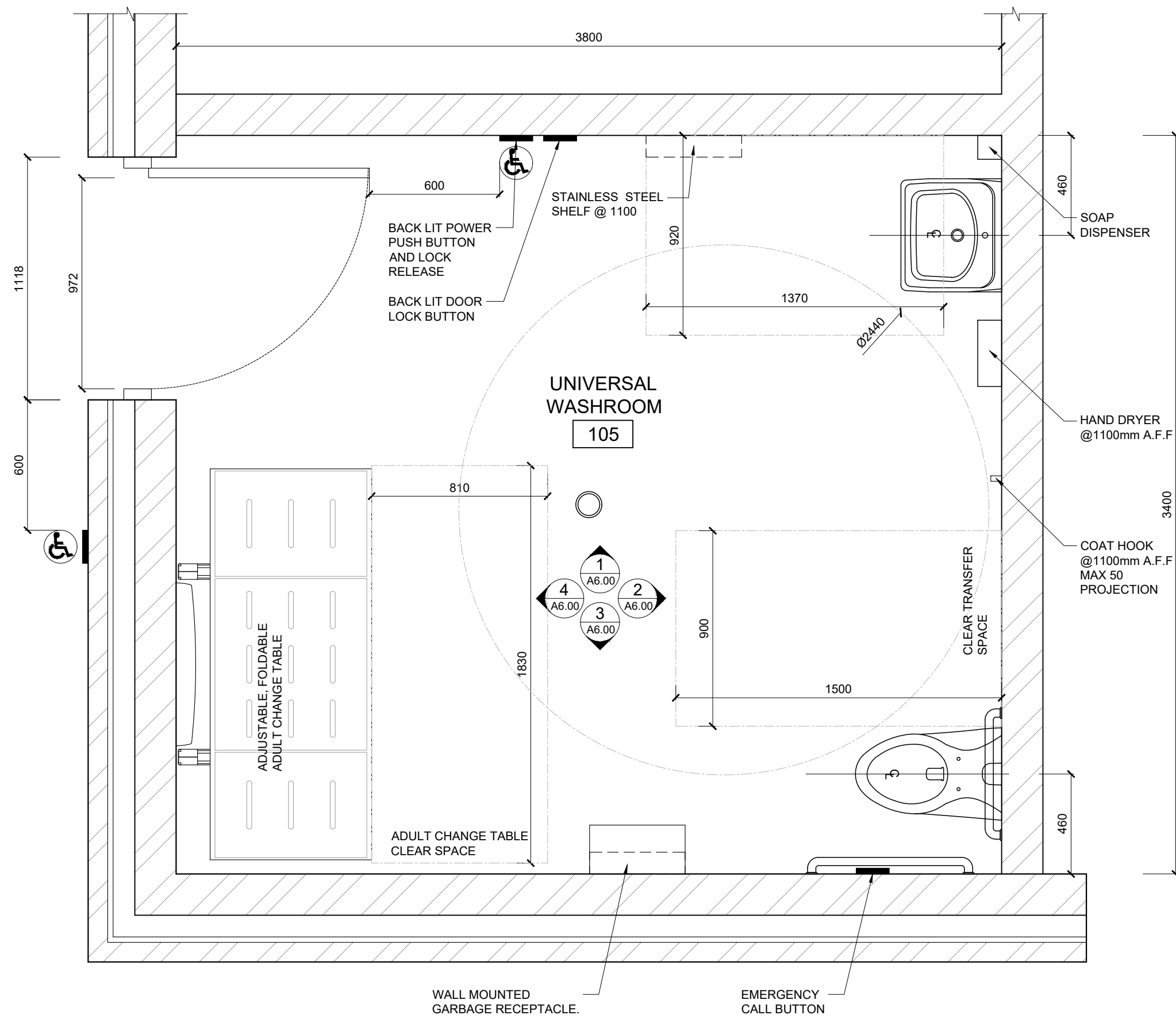


02 building section 2
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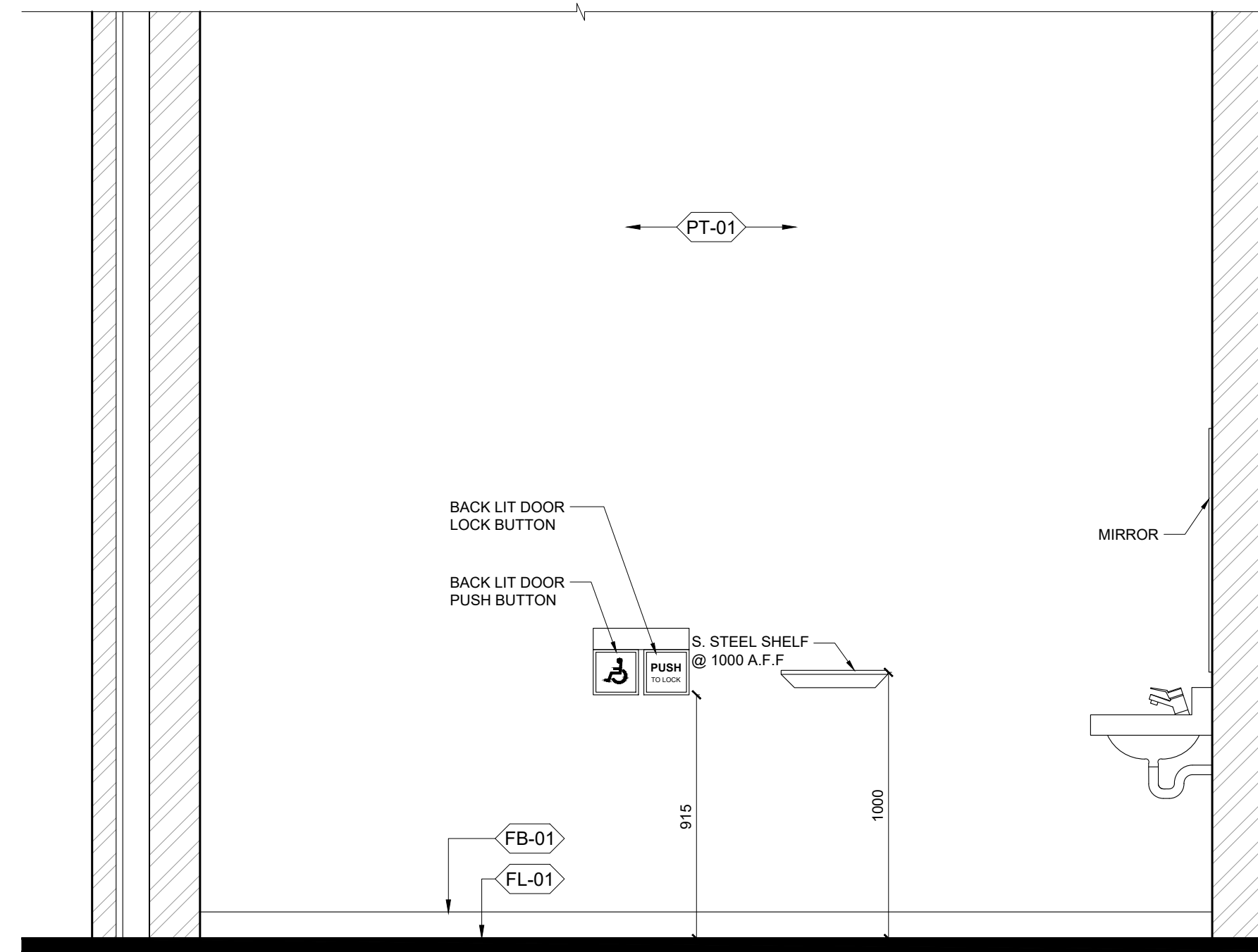
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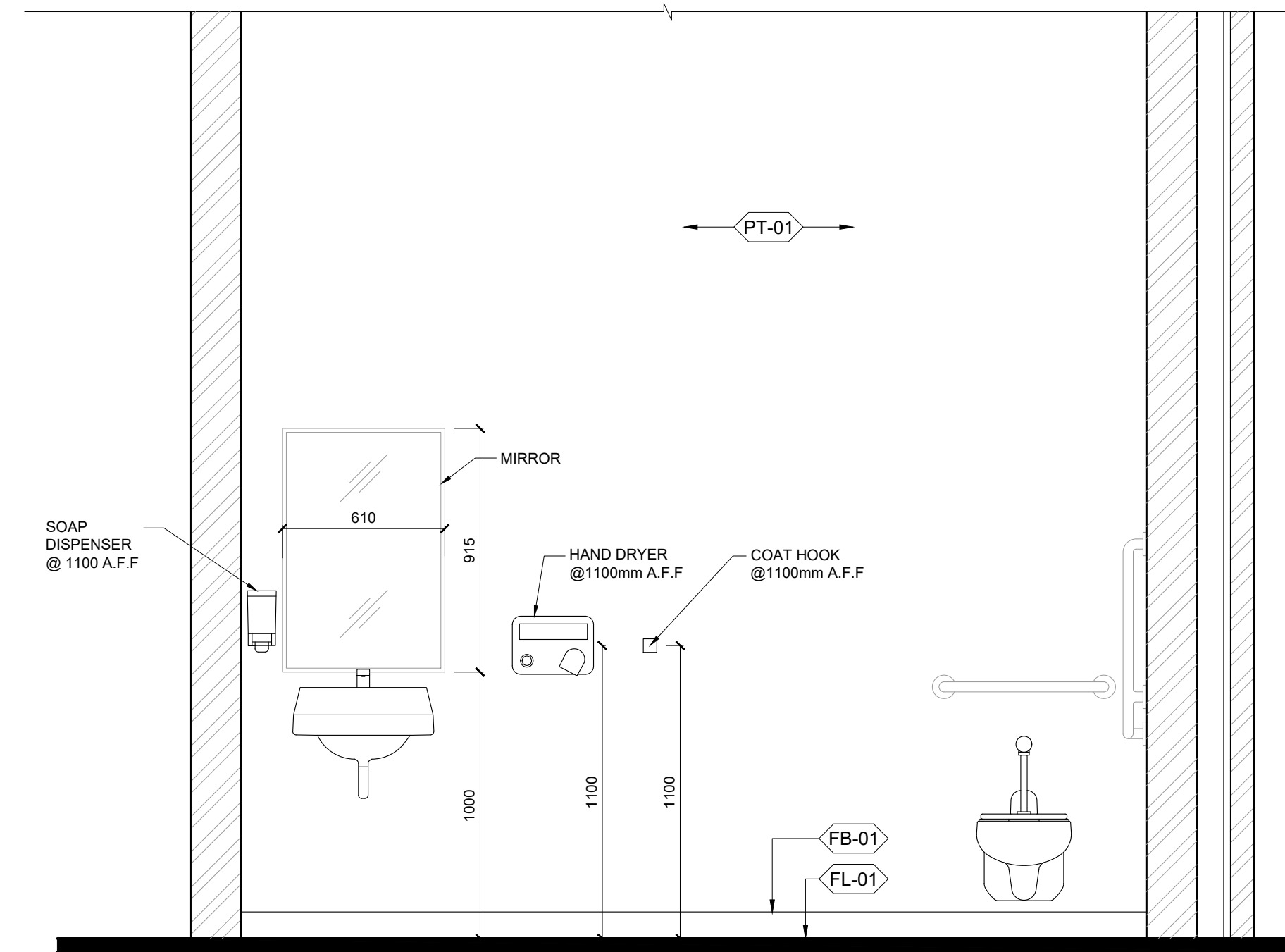
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scale AS SHOWN
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drawing number A5.00
client CITY OF BRANTFORD
project title SOUTHWEST COMMUNITY PARK, FACILITY BUILDINGS
346 SHELLARD LN, BRANTFORD, ON
project number 2023-047



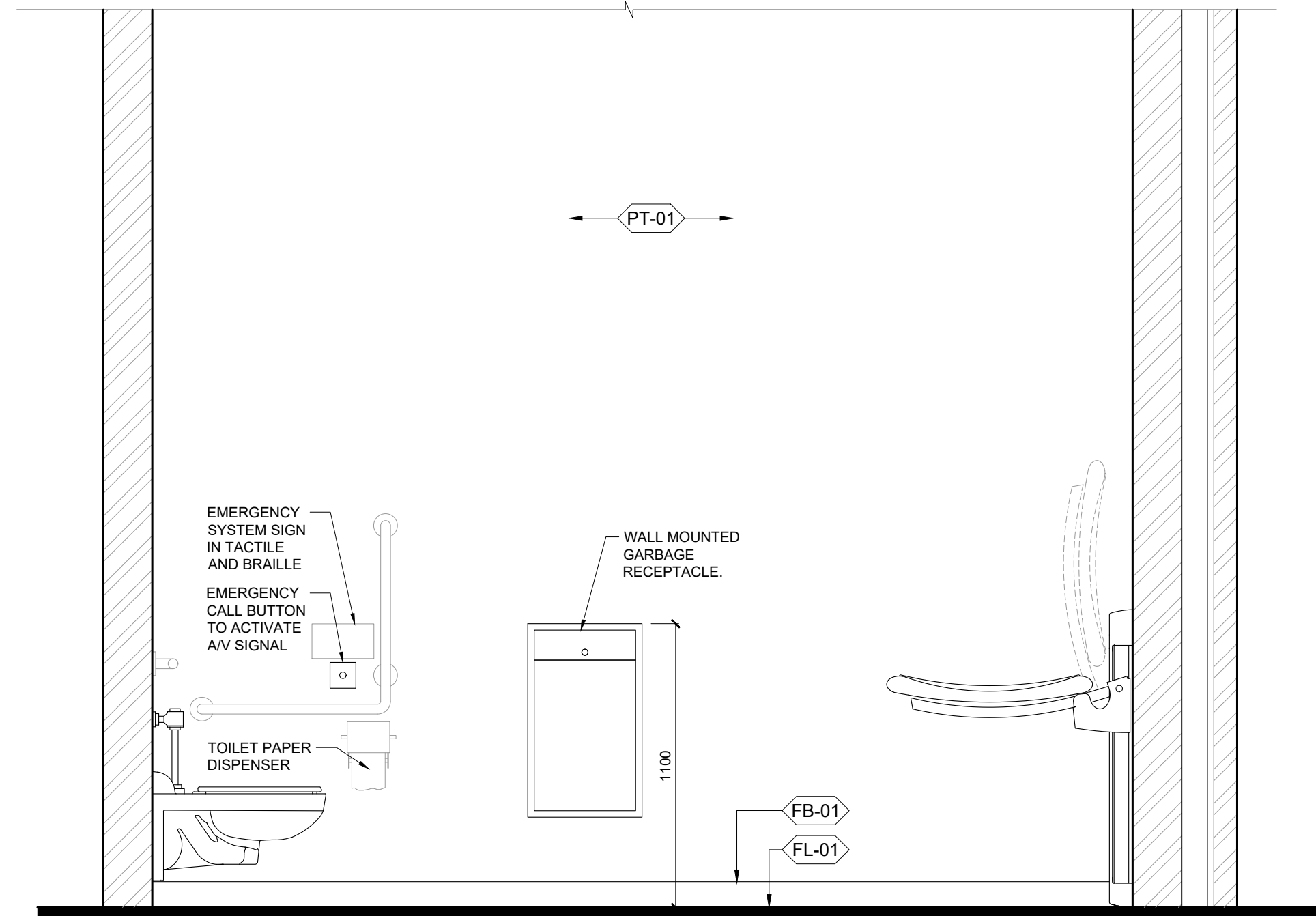
01 universal washroom detailed plan
SCALE | 1:20



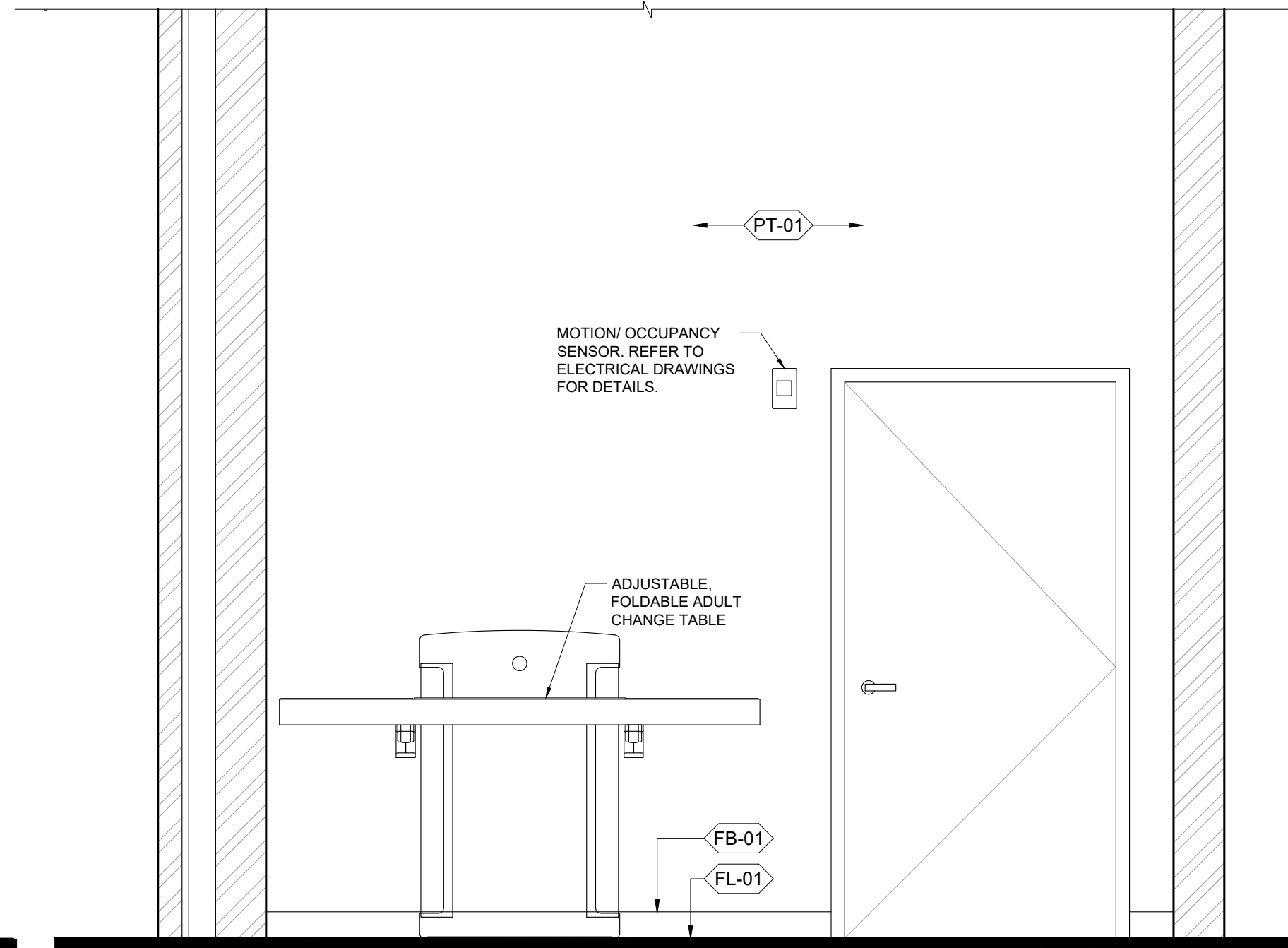
ELEVATION 1



ELEVATION 2

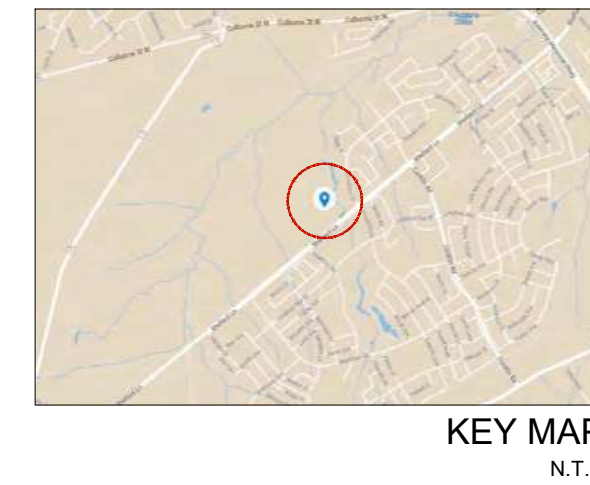


ELEVATION 3



ELEVATION 4

02 universal washroom interior elevations
SCALE | 1:20



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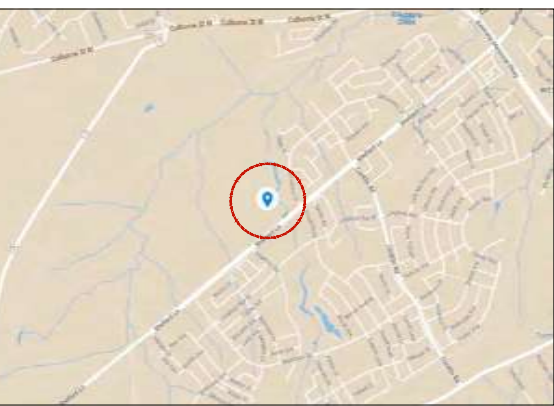
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drawn by RN
date SEP 2022
scale AS SHOWN

drawing title
**ACTIVITY HUB
UNIVERSAL WASHROOM
DETAILS**

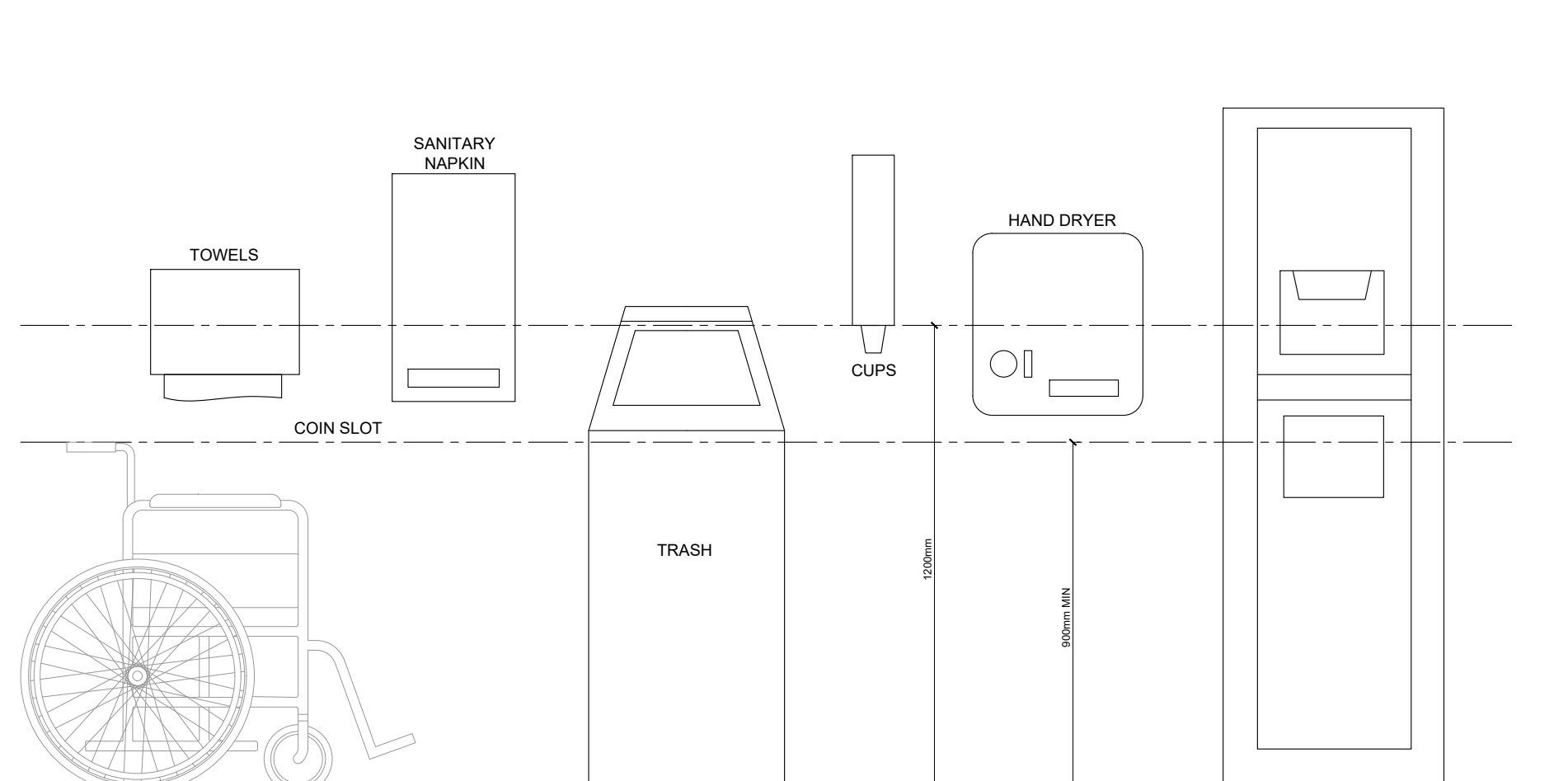
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A6.00
client
CITY OF BRANTFORD

project title
**SOUTHWEST
COMMUNITY PARK,
FACILITY BUILDINGS
346 SHELLARD LN, BRANTFORD, ON**
project number
2023-047

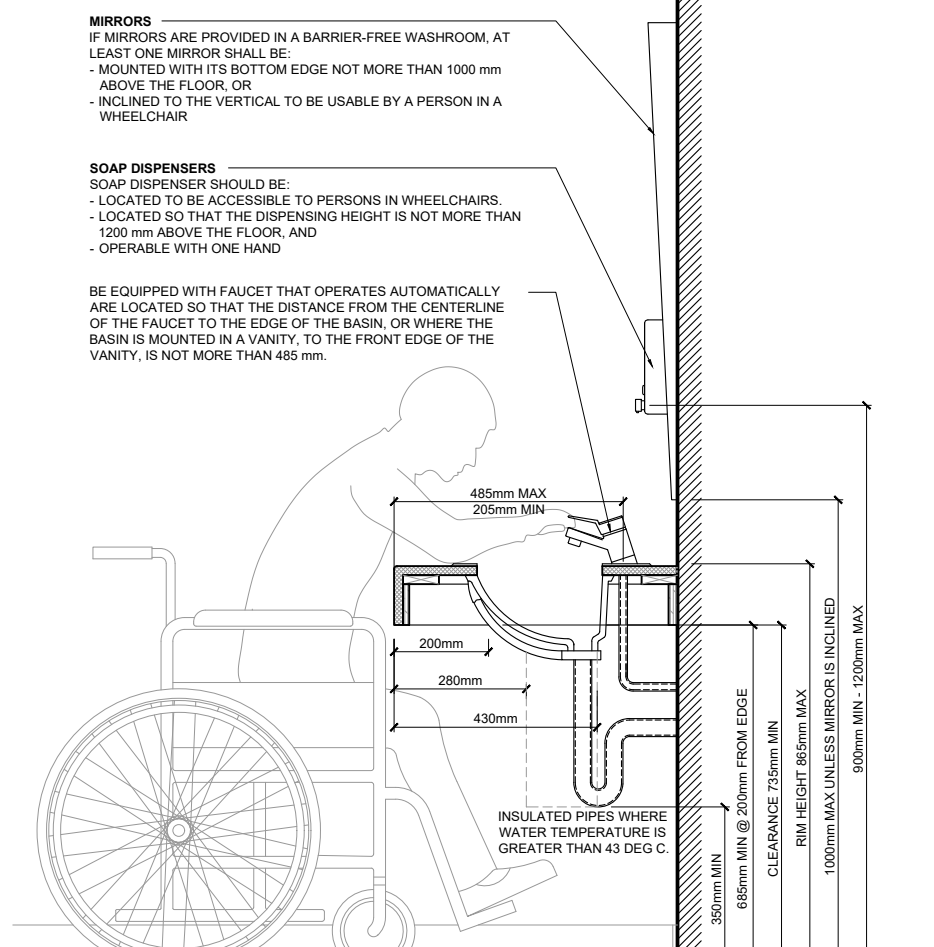
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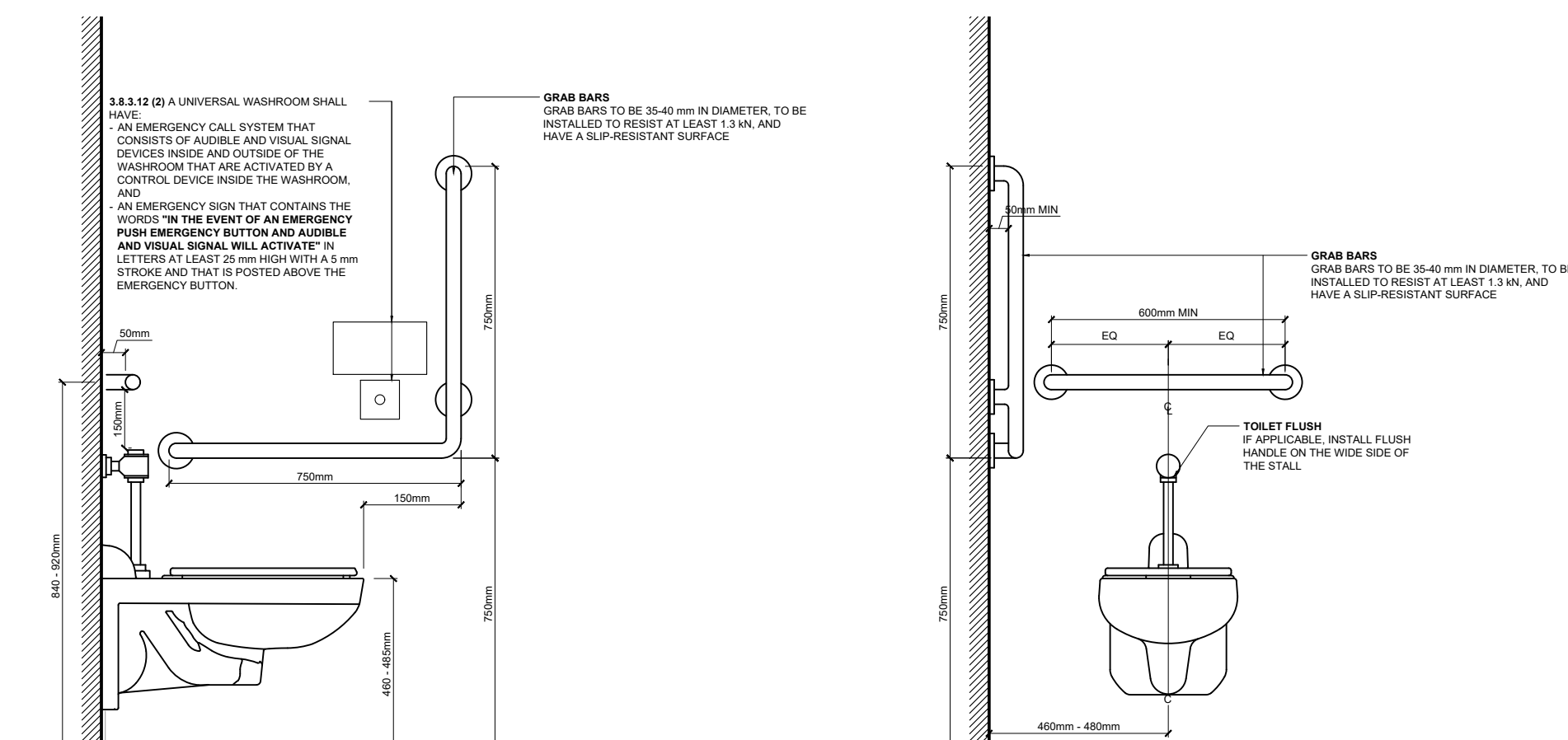
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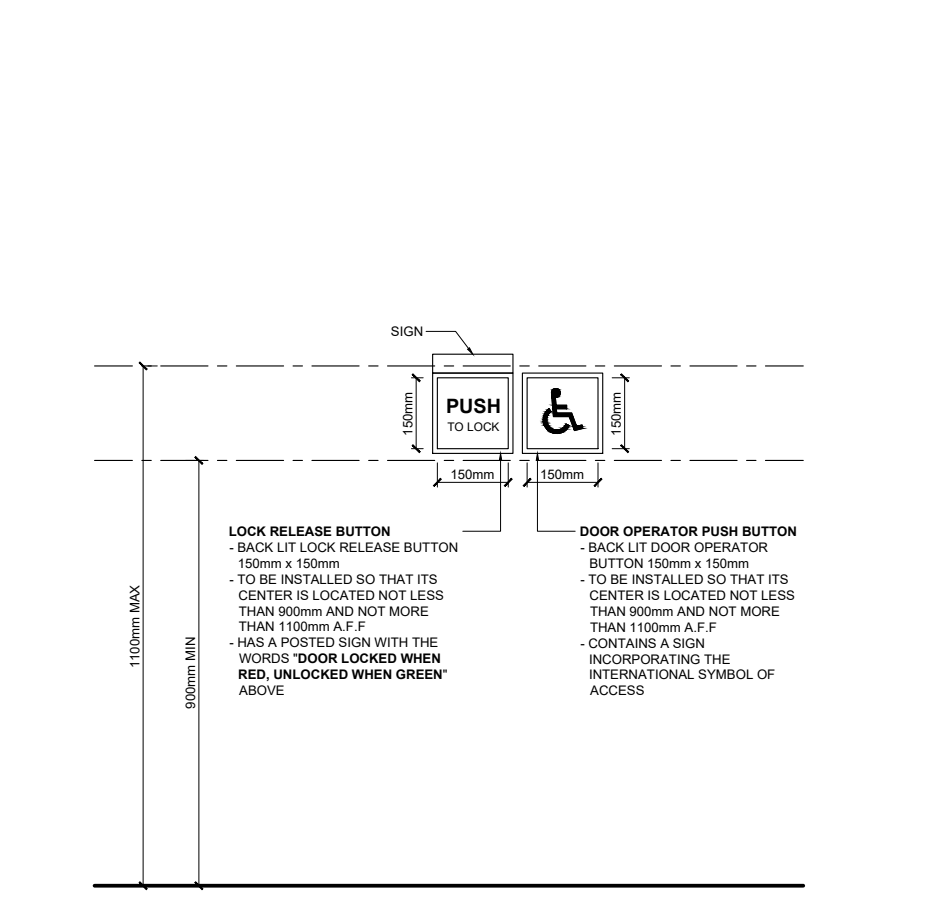
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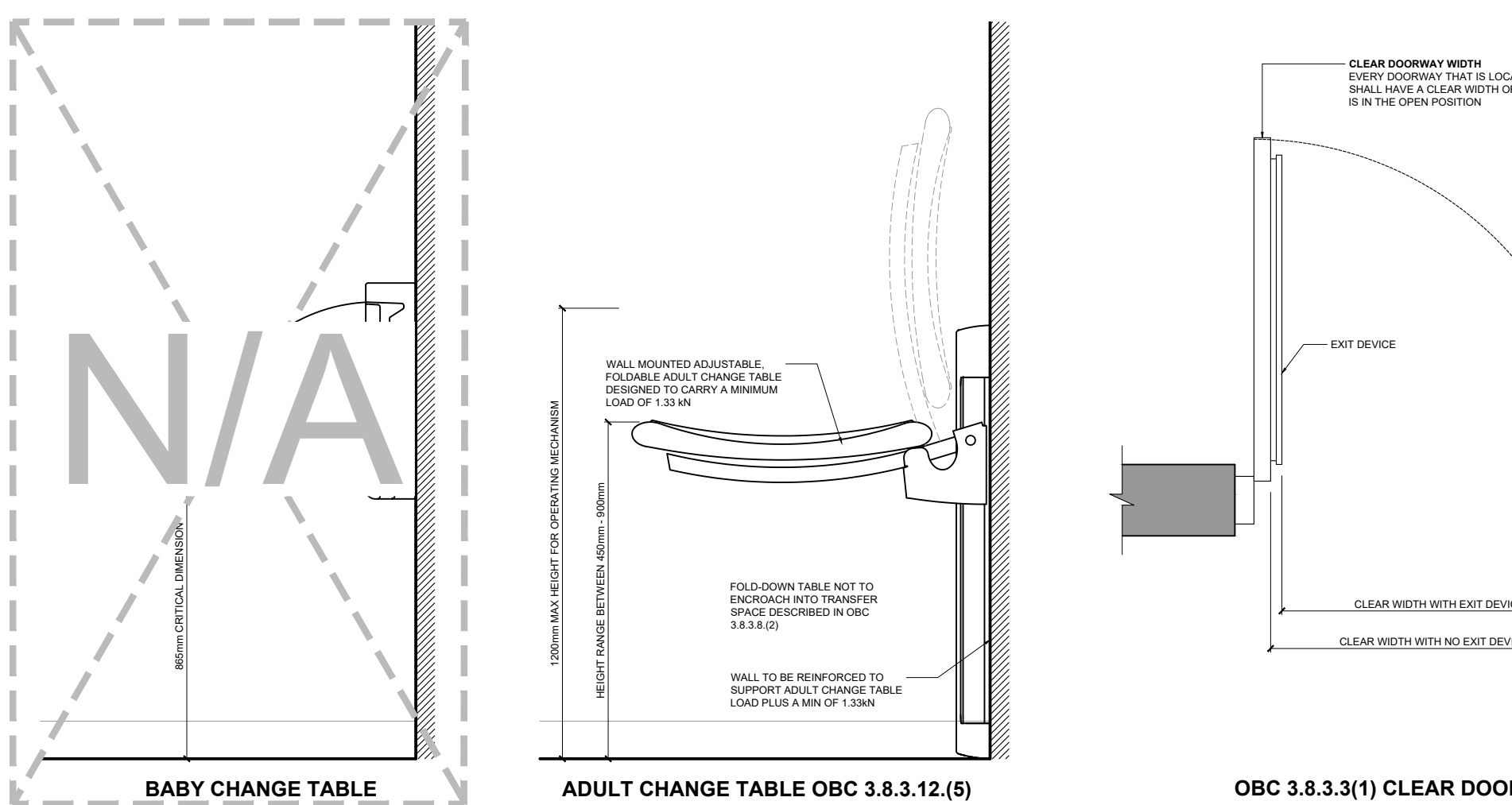
OBC 3.8.3.11 LAVATORIES, MIRRORS & WASHROOM ACCESSORIES



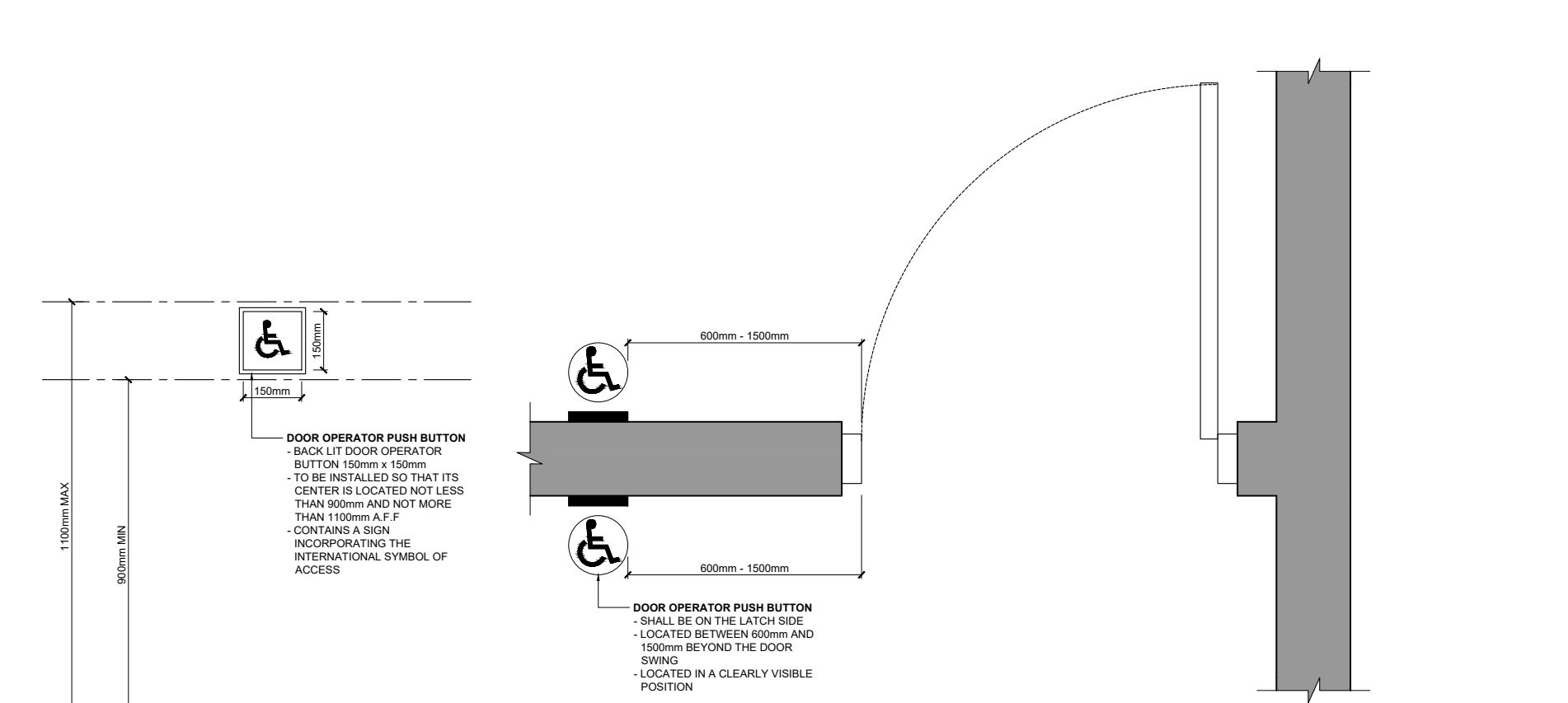
OBC 3.8.3.9 WATER CLOSETS



UNIVERSAL WASHROOM DOOR OPERATOR



OBC 3.8.3.3 (1) CLEAR DOORWAY WIDTH



DOOR OPERATOR HEIGHT OBC 3.8.3.3.(13) and DOOR OPERATOR LOCATION OBC 3.8.3.3.(17)

DOOR OPERATOR HEIGHT OBC 3.8.3.3.(13)

DOOR OPERATOR LOCATION OBC 3.8.3.3.(17)

3.8.1.2. Entrances

(1) Except as permitted in Sentence 3.13.8.1(2), the number of barrier-free entrances into a building shall conform to Table 3.8.1.2.

Table 3.8.1.2: Minimum Number of Pedestrian Entrances Required to be Barrier-Free. Columns: Item, Number of Pedestrian Entrances into Building, Min. Number of Pedestrian Entrances Req. to be Barrier-Free.

(2) One of the barrier-free entrances required by Sentence (1) shall be the principal entrance to the building.

(3) In addition to the barrier-free entrances required by Sentence (1), a suite of assembly occupancy, business and personal services occupancy or mercantile occupancy that is located in the first storey of a building or in a storey to which a barrier-free path of travel is provided, and that is separated from the remainder of the building so that there is no access to the remainder of the building, shall have at least one barrier-free entrance.

3.8.1.3. Barrier-Free Path of Travel (1) Except as permitted in Sentence (4) and except as permitted in Subsection 3.8.3., every barrier-free path of travel shall provide an unobstructed width of at least 1100 mm for the passage of wheelchairs.

3.8.1.5 Controls (1) Except as required by Sentences 3.5.2.2.(1) and 3.8.3.5.(1) for elevators and Sentence 3.8.3.3.(17) for power door controls, controls for the operation of the services or safety devices, including electrical switches, thermostats and intercom switches, intended to be operated by the occupant and located in a barrier-free path of travel shall meet the following requirements:

(a) a washroom for public use required to be barrier-free, or (b) a Group A occupancy within a Group C major occupancy apartment building... (7) Except as permitted in Sentence (8), and except for doors with power operators, closers for doors in a barrier-free path of travel shall be designed to permit doors to open when a force of not more than 38 N is applied to the handles, push plates or latch-releasing devices in the case of exterior doors and 22 N in the case of interior doors.

3.8.3.1. Ramps (1) Ramps located in a barrier-free path of travel shall, (a) have a minimum width of 900 mm between handrails, (b) have a maximum gradient of 1 in 12,

Table 3.8.3.2. Ramp Rise and Slope. Columns: Item, Vertical Rise Between Surfaces, mm, Column 2.

3.8.3.3. Doorways and Doors (1) Every doorway that is located in a barrier-free path of travel shall have a clear width of not less than 800 mm when the door is in the open position. (2) Except as provided in Sentence 3.3.4.11.(11) and except where no bathroom within the suite is at the level of the suite entrance door to which a barrier-free path of travel is provided in accordance with Sentence 3.8.2.1(1), the doorway to at least 1 bathroom and to each bedroom at the same level as each bathroom within a suite of residential occupancy shall have, when the door is in the open position, a clear width of not less than,

(i) 350 mm high over the distance from a point 280 mm to a point 430 mm back from the front edge, (ii) have insulated thresholds where they would otherwise present a bump guard or have water supply temperature limited to a maximum of 43°C, (iii) be equipped with faucets that, (i) operate automatically or comply with 3.7.4.2.(11)(b)(i) and (ii), and (ii) are located so that the distance from the centre line of the faucet to the edge of the basin or, where the basin is mounted in a vanity, to the front edge of the vanity, is not more than 485 mm,

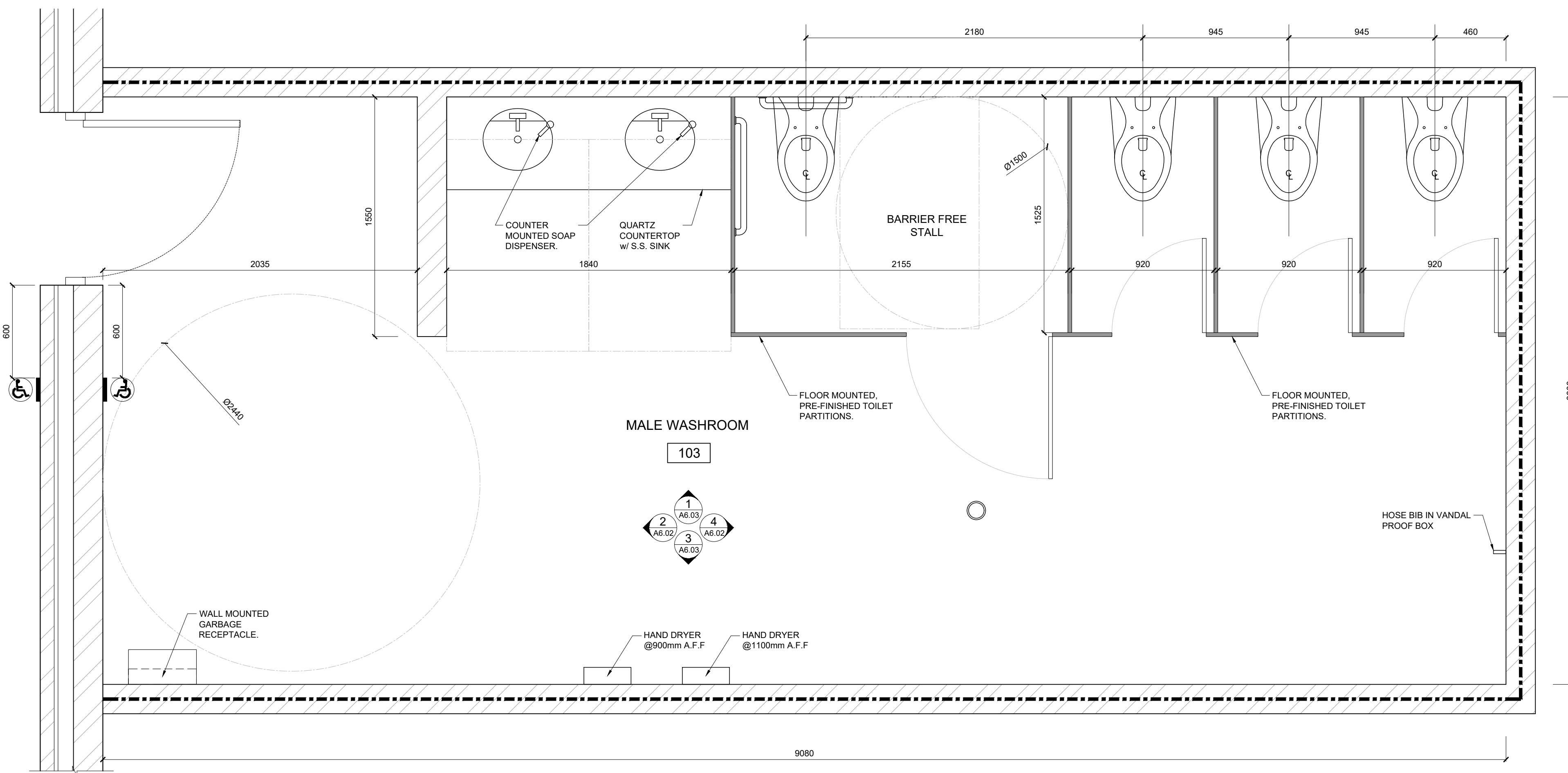
3.8.3.4. Water Closets (1) A water closet described in Clause 3.8.3.3.(1)(i) or (1)(c) or (1)(d) or (1)(e) shall, (a) be equipped with a seat located at not less than 430 mm and not more than 485 mm above the finished floor, (b) flush automatically or be equipped with a flushing control that, (i) is located between 500 mm and 900 mm above the finished floor, (ii) is operable from the transfer side, and (iii) is operable using a closed fist and with a force of not more than 22.2 N, and (c) be equipped with a back support where there is no seat lid or tank.

3.8.3.11. Lavatories, Mirrors and Washroom Accessories (1) A washroom described in Sentence 3.8.2.3.(2), (3) or (4) shall be provided with a lavatory that shall, (a) be located so that the distance between the centre line of the lavatory and the side wall is not less than 460 mm,

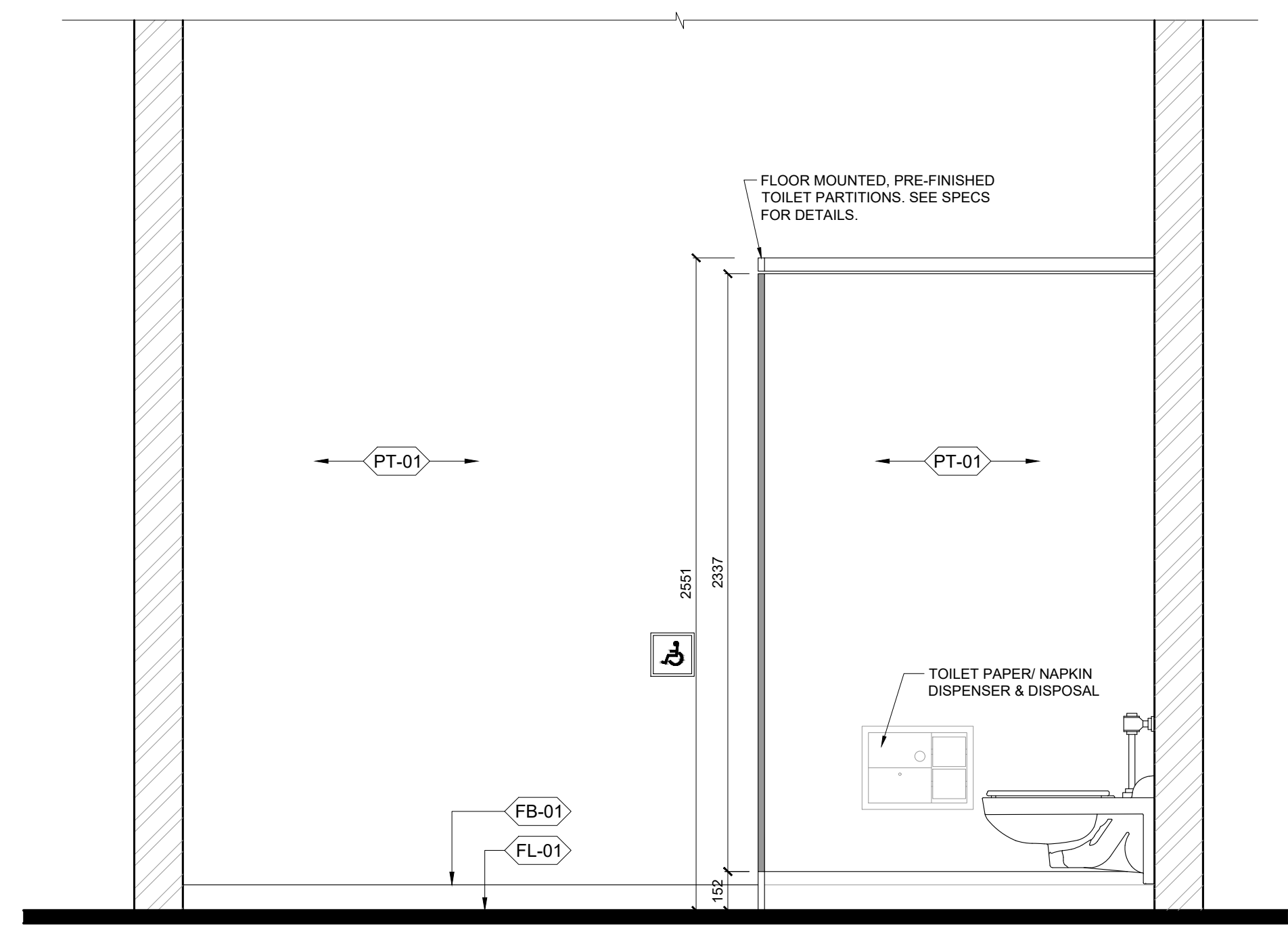
(i) 350 mm high over the distance from a point 280 mm to a point 430 mm back from the front edge, (ii) have insulated thresholds where they would otherwise present a bump guard or have water supply temperature limited to a maximum of 43°C, (iii) be equipped with faucets that, (i) operate automatically or comply with 3.7.4.2.(11)(b)(i) and (ii), and (ii) are located so that the distance from the centre line of the faucet to the edge of the basin or, where the basin is mounted in a vanity, to the front edge of the vanity, is not more than 485 mm,

(i) be provided with a door pull on both sides of the door, near the latch side of the door, located at a height not less than 900 mm and not more than 1100 mm above the finished floor, and (ii) be capable of having the latch required by Subclause (i) released from the outside in the case of an emergency. (2) A washroom described in Clause (1)(a), (b) or (c) shall be provided with a lavatory that shall, (a) be located so that the distance between the centre line of the lavatory and the side wall is not less than 460 mm, (b) have a clear floor space at least 800 mm wide that is perpendicular to and centred on, the urinal and is unobstructed by privacy screens, and (c) have no step in front of it.

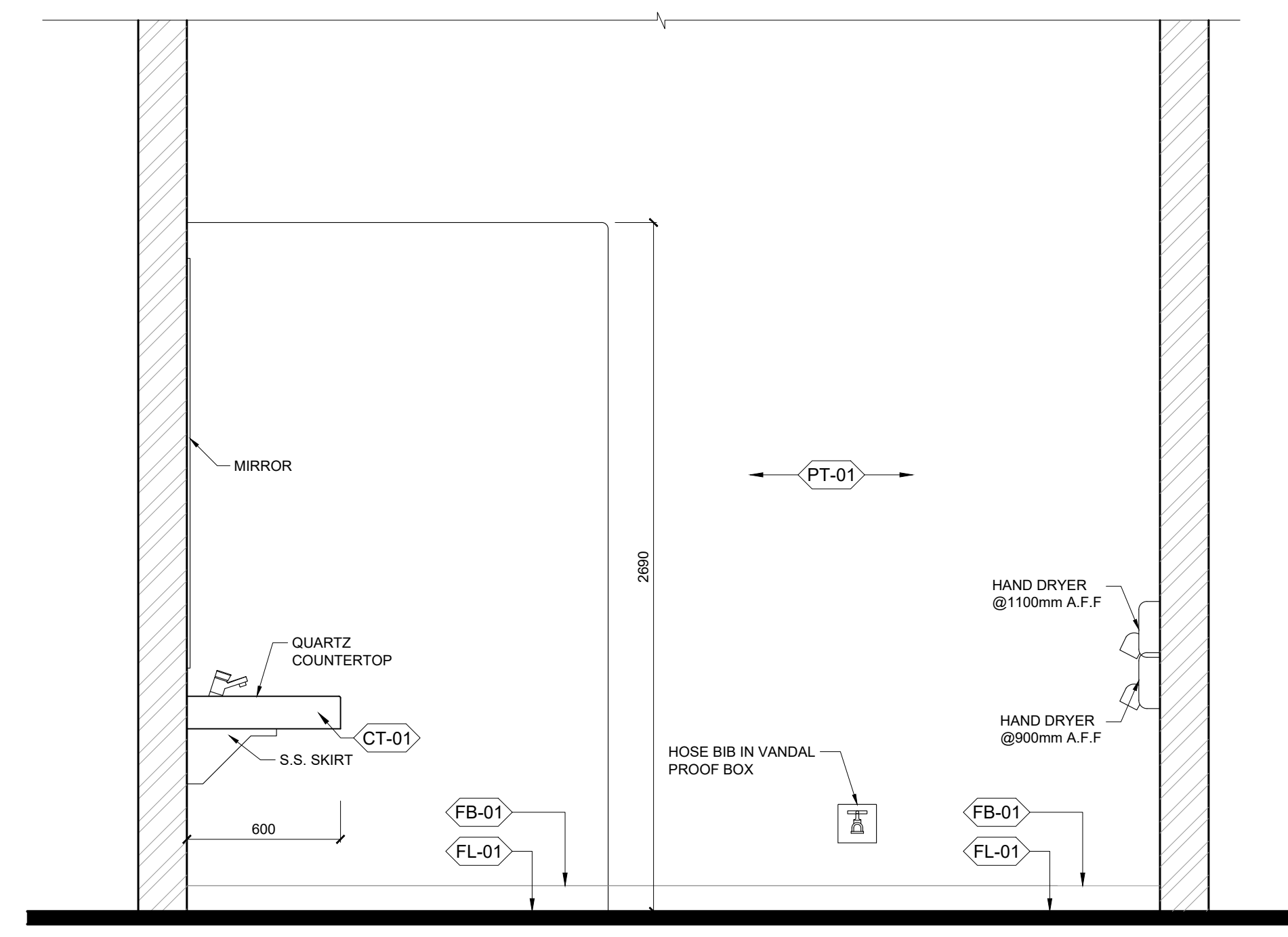
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01 male washroom detailed plan
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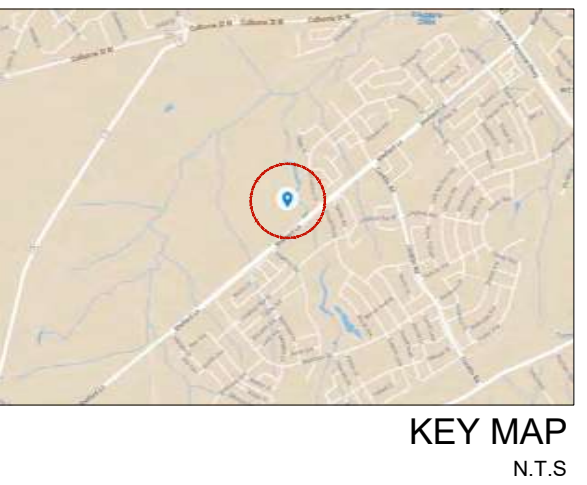


ELEVATION 2



ELEVATION 4

02 male washroom interior elevations
SCALE | 1:20



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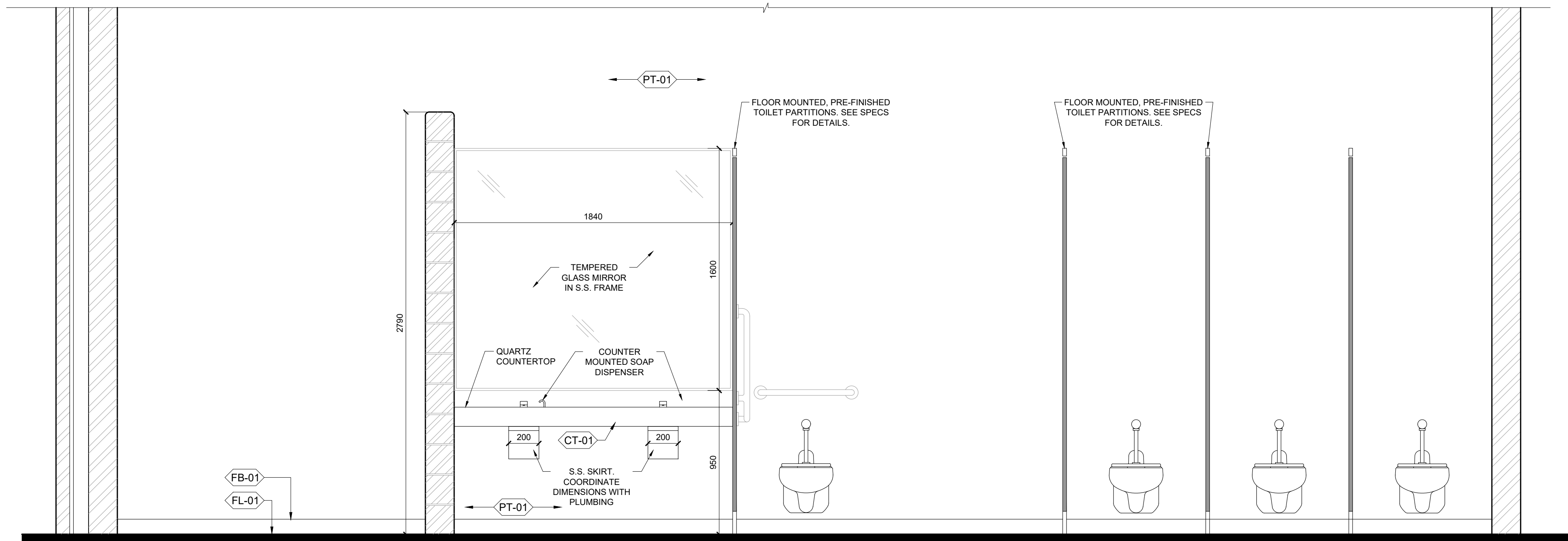
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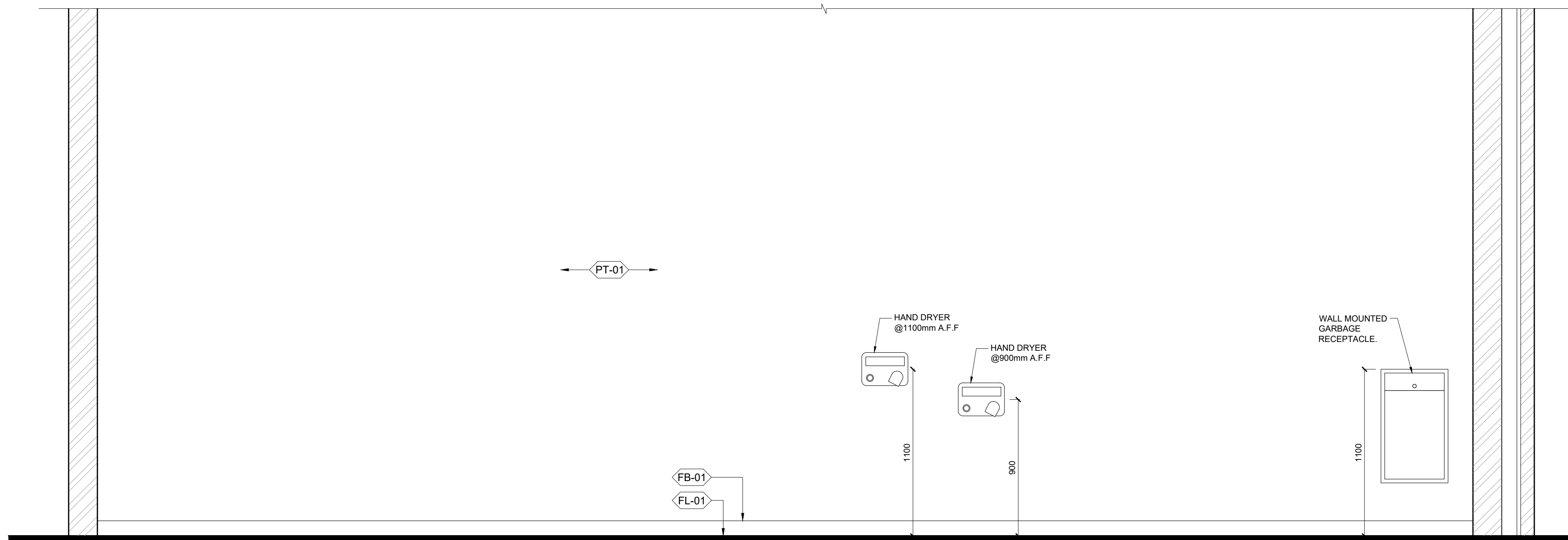
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**ACTIVITY HUB
MALE WASHROOM
DETAILS 1**

drawing number
A6.02
client
CITY OF BRANTFORD

project title
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COMMUNITY PARK,
FACILITY BUILDINGS
346 SHELLARD LN, BRANTFORD, ON**
project number
2023-047



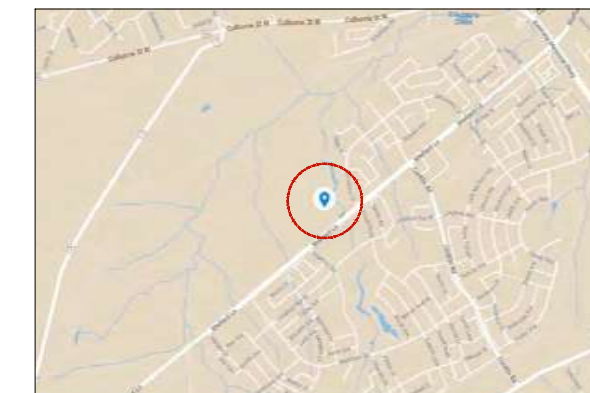
ELEVATION 1



ELEVATION 3

02 male washroom interior elevations

SCALE | 1:20



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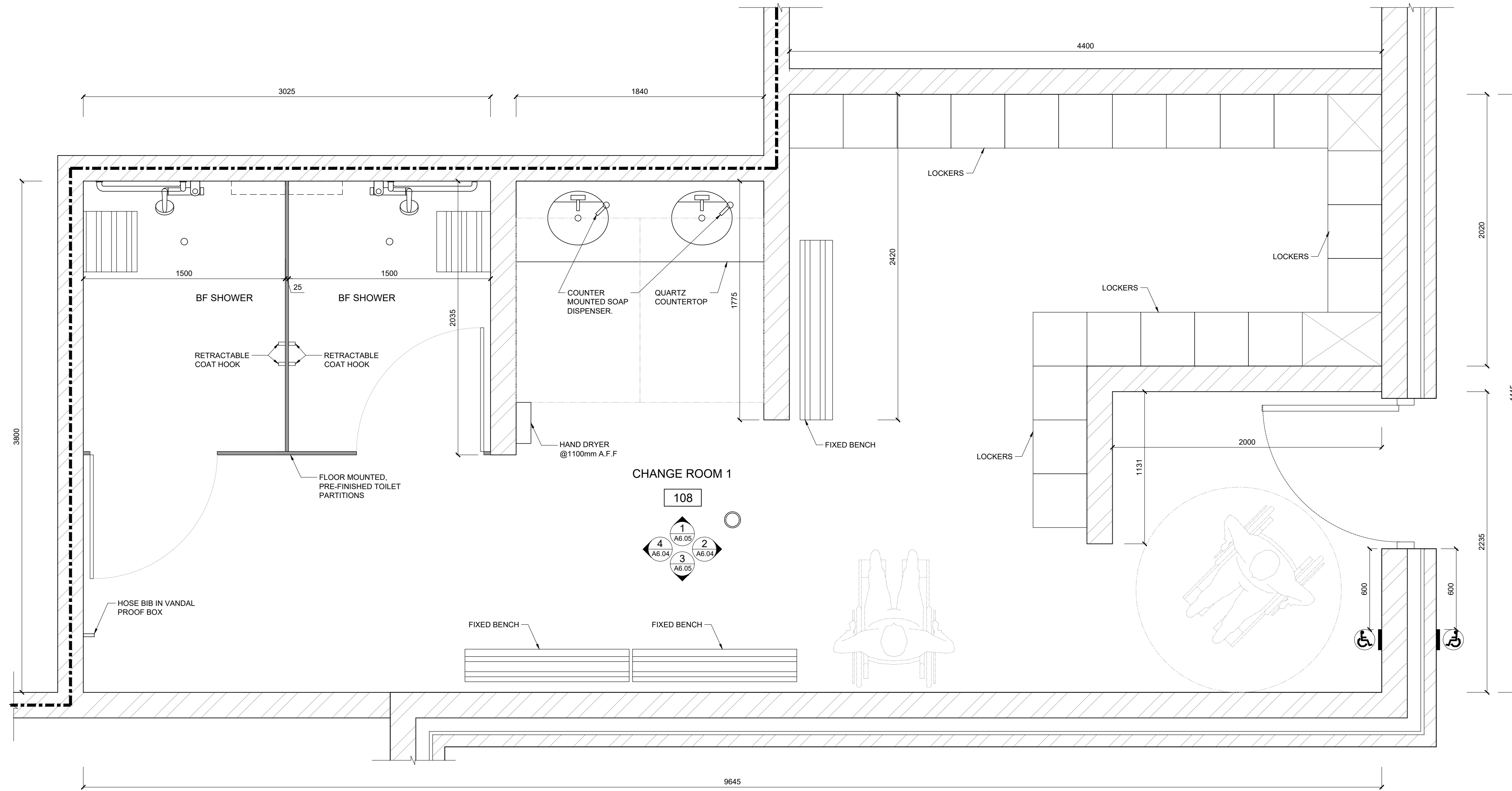
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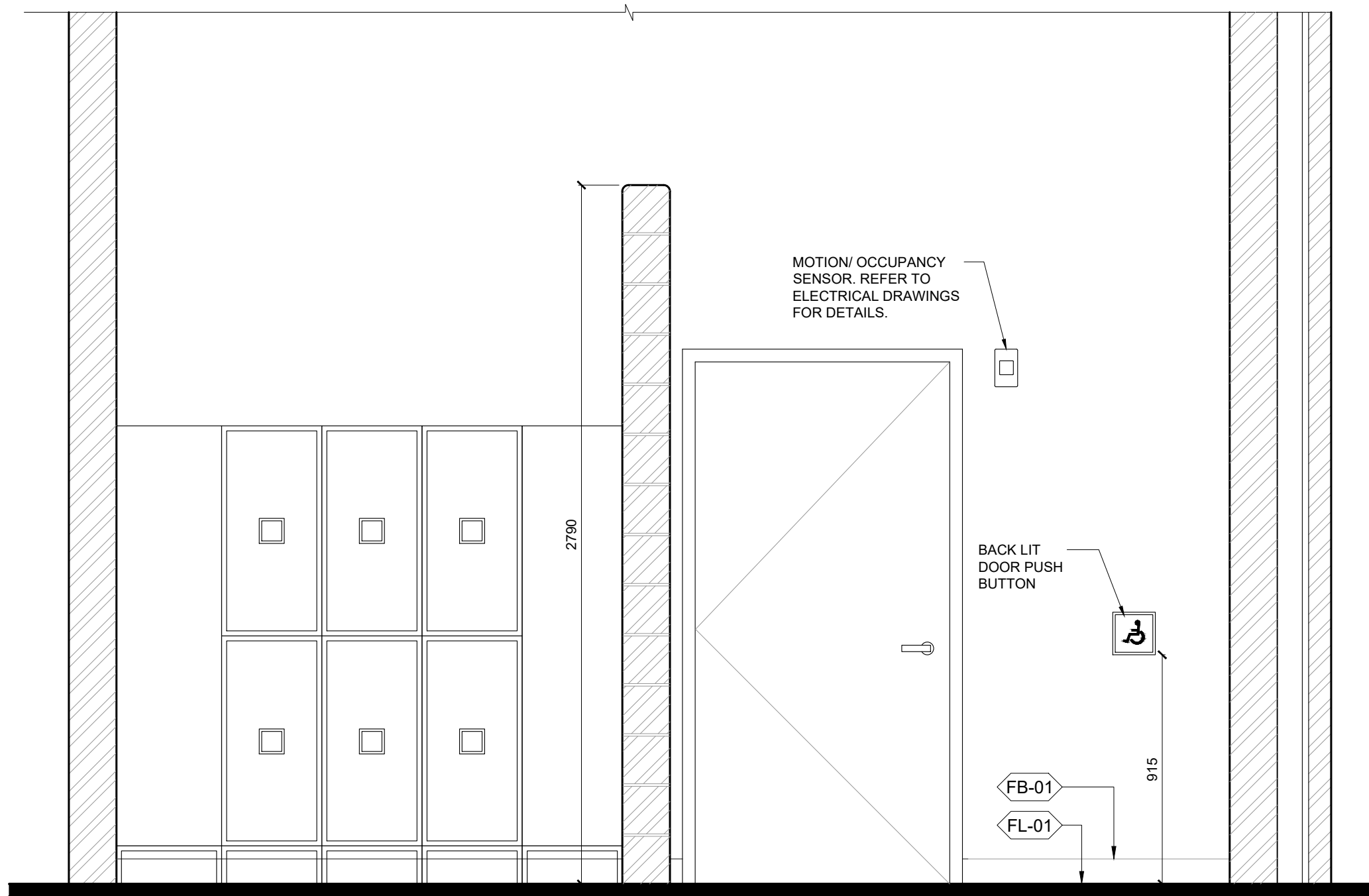
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MALE WASHROOM
DETAILS 2**

drawing number
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client
CITY OF BRANTFORD

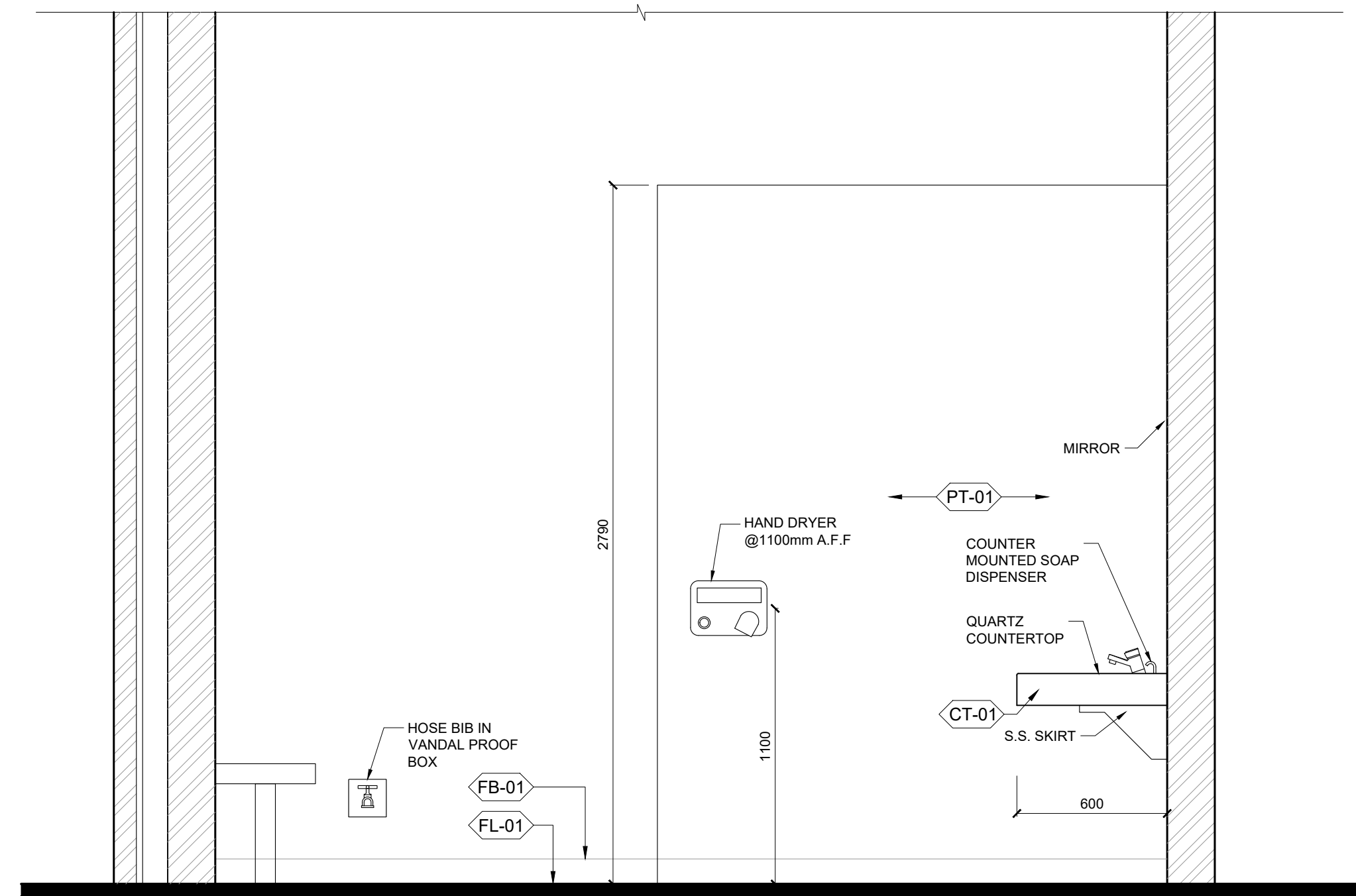
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346 SHELLARD LN, BRANTFORD, ON**
project number
2023-047



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SCALE | 1:20

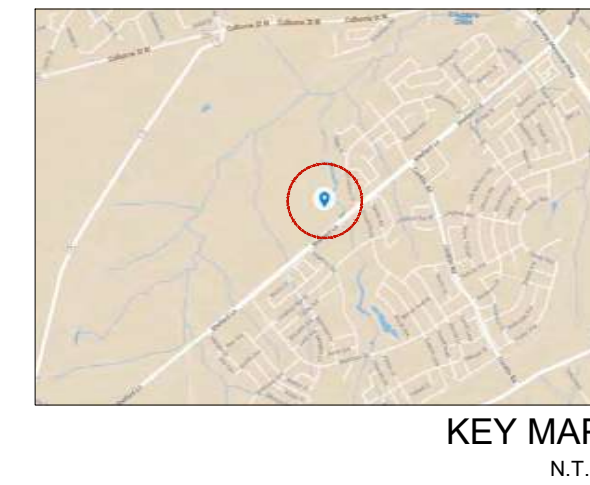


ELEVATION 2



ELEVATION 4

02 change room 1 interior elevations
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R1	R0's Tender Set for Review	Oct 17/23	RN
R0	Issued for SPA	Sep 26/23	RN

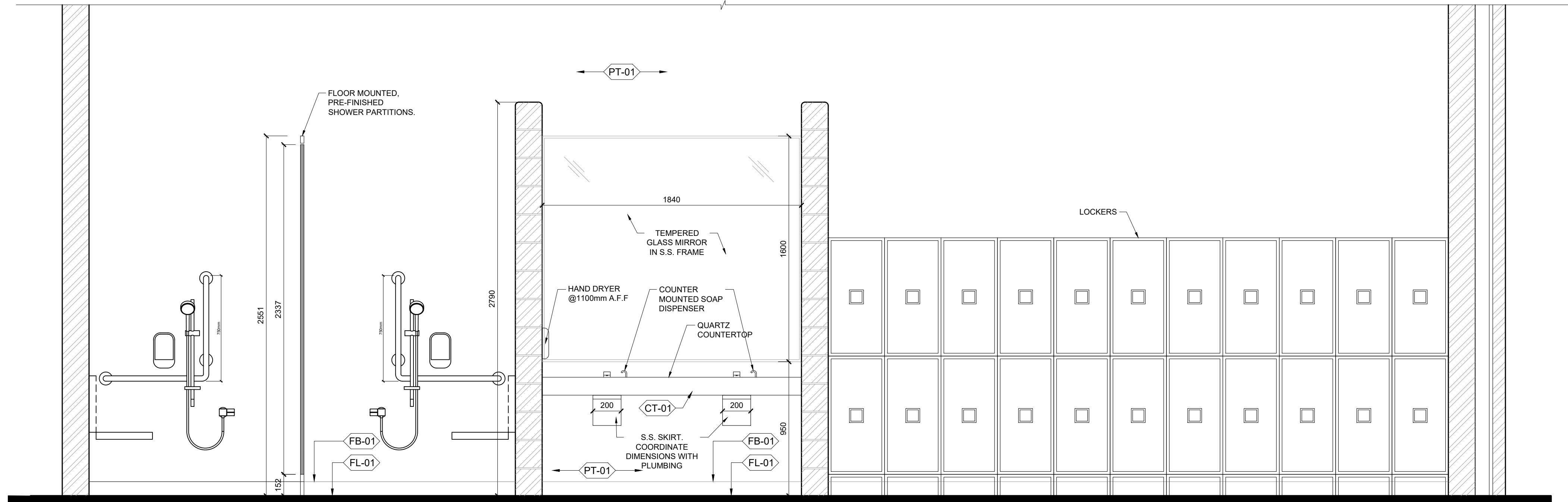
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reviewed by	drawn by
RN	RN
date	SEP 2022
scale	AS SHOWN

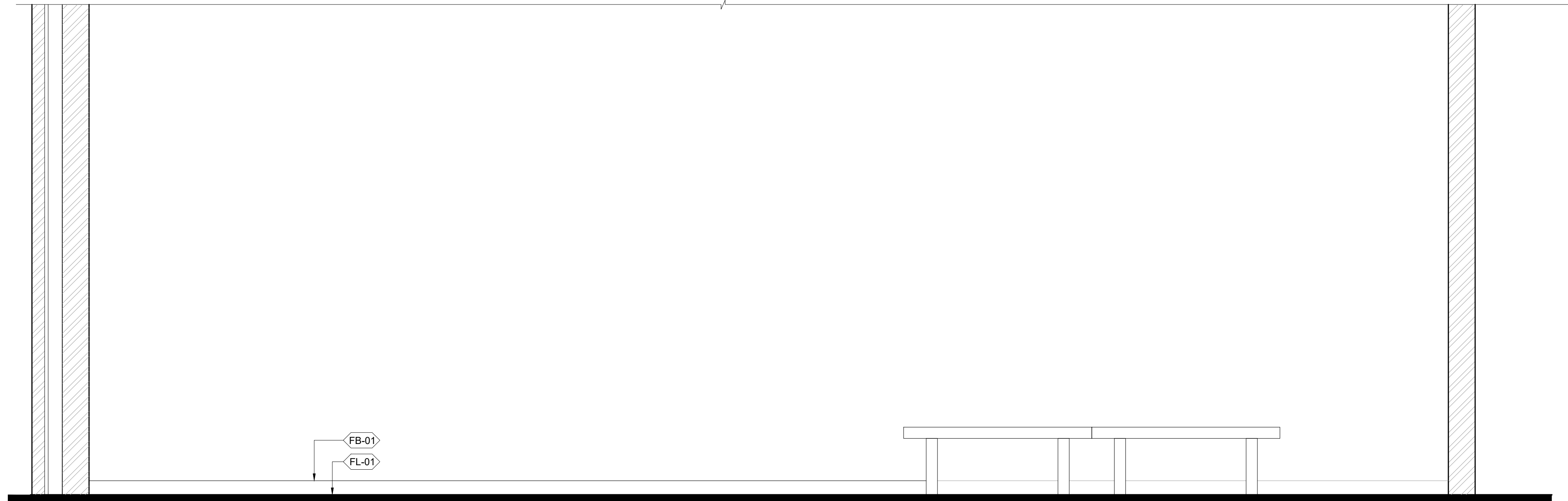
drawing title
**ACTIVITY HUB
CHANGE ROOM 1
DETAILS 1**

drawing number
A6.04
client
CITY OF BRANTFORD

project title
**SOUTHWEST
COMMUNITY PARK,
FACILITY BUILDINGS
346 SHELLARD LN, BRANTFORD, ON**
project number
2023-047



ELEVATION 1



ELEVATION 3

02 change room 1 interior elevations

SCALE 1:20



KEY MAP
N.T.S

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R8	Issued for Construction	Aug 27/24	RN
R7	Issued for Advertisement #5	Aug 01/24	RN
R7	Revised for Permit	Jul 24/24	RN
R6	Revised for SPA	May 03/24	RN
R5	Issued for Tender	Jan 19/24	RN
R4	Issued for Permit	Dec 20/23	RN
R3	RD's Tender Set for Review	Dec 15/23	RN
R2	Revised for SPA	Oct 31/23	RN
R1	RD's Tender Set for Review	Oct 17/23	RN
R0	Issued for SPA	Sep 26/23	RN
no.	revision	date	by

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reviewed by RN drawn by RN

date SEP 2022

scale AS SHOWN

drawing title
**ACTIVITY HUB
CHANGE ROOM 1
DETAILS 2**

drawing number
A6.05

client
CITY OF BRANTFORD

project title
**SOUTHWEST
COMMUNITY PARK,
FACILITY BUILDINGS
346 SHELLARD LN, BRANTFORD, ON**
project number
2023-047