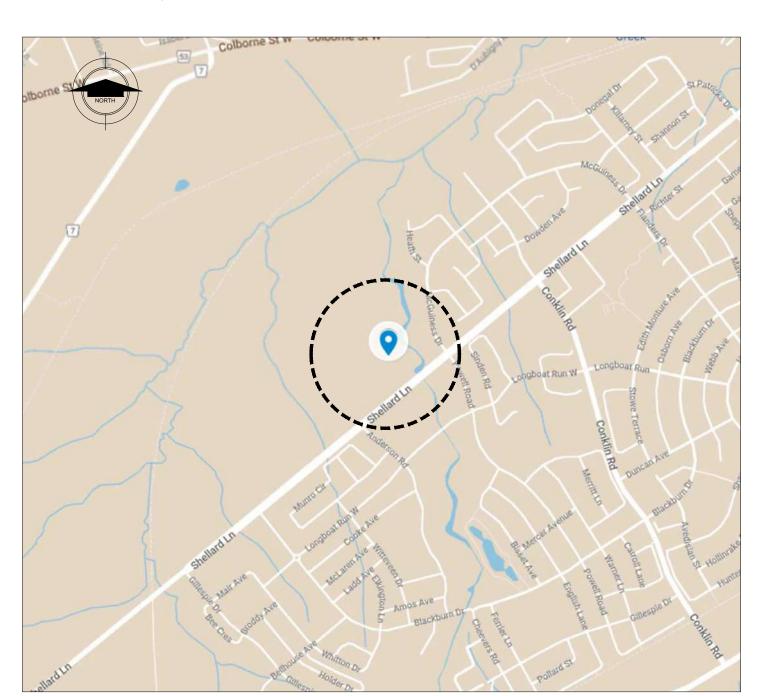
SOUTHWEST COMMUNITY PARK, ACTIVITY HUB

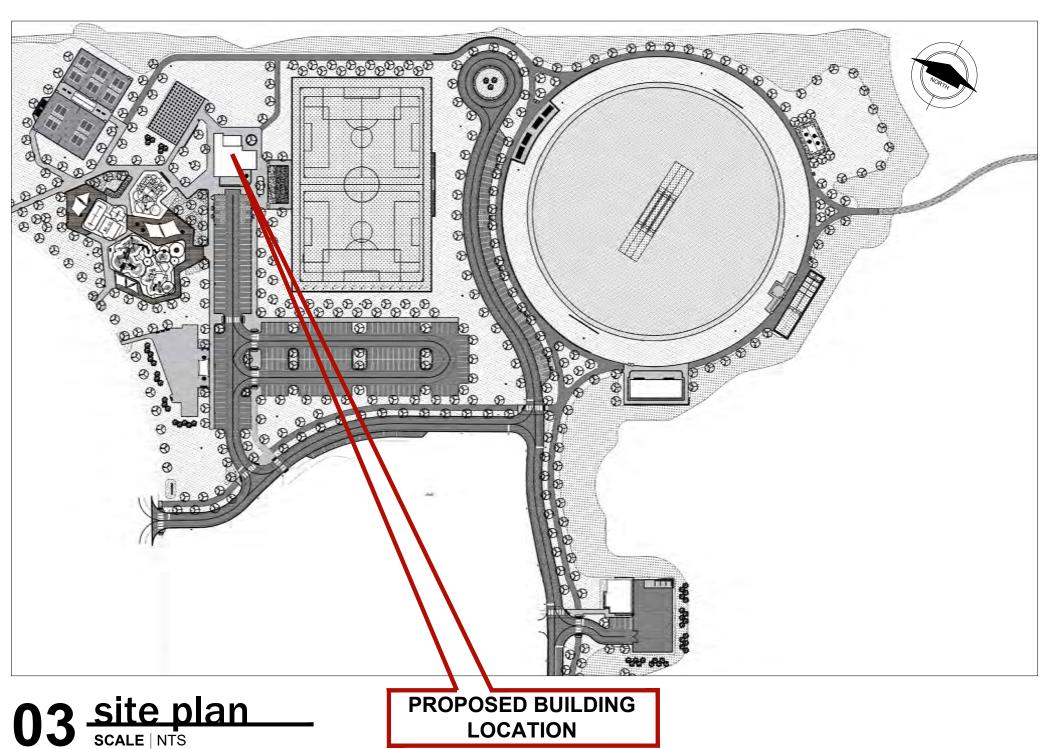
BRANTFORD, ONTARIO



01 rendered 3D model scale | NTS



02 location map



GENERAL NOTES

1. IN ADDITION TO THESE GENERAL NOTES. THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS FOR OTHER SPECIFIC INSTRUCTIONS AS THEY BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED. THE CONTRACTOR IS TO CLARIFY WITH THE ARCHITECT AND OWNER ANY SUCH DISCREPANCIES PRIOR TO COMMENCING WORK.

2. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS. CONTRACTOR MUST COMPLY WITH CONTRACTORS REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES. ALL REQUIRED PERMITS SHALL BE ACQUIRED BEFORE COMMENCING ANY CONSTRUCTION.

3. APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS IN GOOD CONDITION ON THE

4. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS AND OWNER.

5. STATED DIMENSIONS TAKE PRECEDENCE OVER GRAPHICS. DO NOT SCALE DRAWINGS TO DETERMINE LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED PRIOR TO CONTINUING WITH WORK IF ANY DISCREPANCIES OCCUR.

6. CONTRACTOR SHALL REFER AND CONFORM TO ALL RECOMMENDATIONS AND FINDINGS AS SET FORTH IN SOILS GEOLOGICAL REPORT. THE OWNER AND/OR

ARCHITECT ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE FINDINGS, OR FOR THE FINAL RECOMMENDATIONS, GRADING, TRENCHING, ETC. 7. CONTACT OWNER FOR INSTRUCTIONS PRIOR TO THE CONTINUATION OF WORK SHOULD ANY UNUSUAL CONDITIONS BECOME APPARENT DURING GRADING OR FOUNDATION CONSTRUCTION. EXISTING ELEVATIONS AND LOCATIONS TO BE JOINTED SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF

8 IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.

THEY DIFFER FROM THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL

9. MEANS, METHODS, SAFETY MEASURES, CONSTRUCTION SITE PROTECTION AND TEMPORARY SERVICES REQUIRED DURING CONSTRUCTION SHALL BE AT THE SOLE EXPENSE AND THE RESPONSIBILITY OF THE CONTRACTOR.

10. ANY DETAILS OR NOTES REQUIRING FIELD VERIFICATION BY THE CONTRACTOR ARE TO BE DONE DURING THE BID PROCESS. DISCREPANCIES FOUND AFTER THE GENERAL CONTRACTOR IS SELECTED WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND CORRECTED AT HIS EXPENSE.

ELEVATION NUMBER

SECTION NUMBER

REVISION NUMBER

___ ITEM REFERENCE

J XXXXX

WINDOW SCHEDULE

DOOR SCHEDULE

REFERENCE

REFERENCE

DRA	DRAWING INDEX			
NO.	TITLE	REVISION		
A1.00	COVER SHEET			
A1.01	TABLES AND SYMBOLS			
A2.00	CONSTRUCTION PLAN			
A2.01	CONSTRUCTION PLAN AT WINDOW LEVEL			
A3.00	REFLECTED CEILING PLAN			
A3.01	ROOF PLAN			
A4.00	EXTERIOR ELEVATIONS 1			
A4.01	EXTERIOR ELEVATIONS 2			
A5.00	BUILDING SECTIONS			
A5.01	WALL SECTIONS & CONSTRUCTION DETAILS			
A5.02	CONSTRUCTION DETAILS			
A6.00	UNIVERSAL WASHROOM DETAILS			
A6.01	BARRIER FREE STANDARD DETAILS			
A6.02	MALE WASHROOM DETAILS 1			
A6.03	MALE WASHROOM DETAILS 2			
A6.04	CHANGE ROOM 1 DETAILS 1			
A6.05	CHANGE ROOM 1 DETAILS 2			
A7.00	SCHEDULES & DETAILS			
SP1	SPECIFICATIONS 1			
SP2	SPECIFICATIONS 2			

MATERIAL INDICATIONS

WOOD BLOCKING, INTERRUPTED MEMBER RIGID INSULATION / E.I.F.S.

SHEAR WALL NOTE: MATERIALS SHOWN ARE FOR WALL SECTIONS AND/OR SMALL SCALE PLANS AND/OR ELEVATIONS MAY VARY. REFER TO INDIVIDUAL LEGENDS AND/OR SCHEDULES FOR

ABBREVIATIONS

SYMBOLS

EXTERIOR/ INTERIOR

ELEVATION

ABV	ABOVE	DTL	DETAIL	GB	GYPSUM WALL	OFF	OFFICE	SCH	SCHEDULE
AFF	ABOVE FINISHED	DIA	DIAMETER		BOARD	O.C.	ON CENTER(S)	SECT	SECTION
	FLOOR	DIM	DIMENSION	GL	GLASS	OPN'G	OPENING	SHT	SHEET
AL	ALUMINUM	DN	DOWN	GVS	GALVANIZED STEEL	OPH	OPPOSITE HAND	SIM	SIMILAR
A/C	AIR CONDITIONING	DWR	DRAWER			OD	OUTSIDE DIMENSION	SC	SOLID CORE
ARCH	ARCHITECT(URAL)	DWG	DRAWING	HDW	HARDWARE			SLD SUR	SOLID SURFACE
@	AT			HDWH	HARDWOOD	PT	PAINT(ED)	SPEC	SPECIFICATION
_		EA	EACH	HM	HOLLOW METAL	PLAM	PLASTIC LAMINATE	SS	STAINLESS STEEL
BCT	BABY CHANGE TABLE	ECB	EMERGENCY CALL	HMIN	HOLLOW METAL	PLY	PLYWOOD	STO	STORAGE
BLK	BLOCK(ING)		BUTTON		INSULATED	PM	PROJECT MANAGER	STR	STRUCTURAL
BOT	BOTTOM	EGB	EDGE BAND	HVAC	HEATING/VENTILATION	POL	POLISHED	SUSP	SUSPENDED
BLDG	BUILDING	ELEV	ELEVATION		AIR CONDITIONING	POR	PORCELAIN		
		EQ	EQUAL			PROJ	PROJECT	TEL	TELEPHONE
CH	COAT HOOK	EQPT	EQUIPMENT	IN (")	INCH	P TRE	PRESSURE TREATED	TYP	TYPICAL
CLG	CEILING	EX	EXISTING	ID	INSIDE DIMENSION			THRU	THRU
CIRC	CIRCUIT\	EXP	EXPOSED	INT	INTERIOR	REFR	REFERENCE /		
CL	CLEAR	EXT	EXTERIOR				REFRIGERATOR	UNO	UNLESS NOTED
COL	COLUMN	EG	EXTERIOR GRADE	MFG	MANUFACTURE(R)				OTHERWISE
CONC	CONCRETE			MECH	MECHANICAL	REM	REMOVE(D)(ABLE)		
CONST	CONSTRUCTION	FT (')	FEET, FOOT	MISC	MISCELLANEOUS	REQD	REQUIRED	VCT	VINYL COMPOSITION
CONT	CONTINUOUS (OR)	FIN	FINISH(ED)	MM	MILLIMETERS	RELS	RESILIENT		TILE
	CONTINUE ` ´	FL	FLOOR(ING)	MULL	MULLION	REV	REVISION(S)		
CT	CURRENT	FD	FLOOR DRAIN			RM	REVISED ROOM	W/	WITH
	TRANSFORMER	FLUR	FLUORESCENT	N/A	NOT APPLICABLE	RO	ROUGH OPENING	W/O	WITHOUT
CTR	COUNTER	F.R.R.	FIRE RESISTANCE RATING	NIC NOM.	NOT IN CONTRACT NOMINAL	RND	ROUND	WD	WOOD
		FUR	FURRED(ING)	NTS	NOT TO SCALE				

CODED NOTE NUMBER

PROJECT CONTACT LIST

OWNER CITY OF BRANTFORD 58 DALHOUSIE STREET BRANTFORD, ON N3T 2J2	LANDSCAPE ARCHITECT LANDSCAPE PLANNING LTD 95 MURAL STREET, SUITE 207 RICHMOND HILL, ON L4B 3G2 PAUL GARDNER 905-669-6838	ARCHITECT PYLONS ARCHITECTURE INC 20 RIVERMEDE ROAD, UNIT# 101 CONCORD, ON L4K 3N3 RAFIK NASSIF 289-637-1375 EXT: 100	STRUCTURAL ENGINEER PINPOINT ENGINEERING B5-8841 GEORGE BOLTON PARKWAY BOLTON, ON L7E 2X8 ANTHONY PETRUCCI 647-639-0089	MECHANICAL ENGINEER TIGRIS ENGINEERING INC 6751 PROFESSIONAL CRT., UNIT# 203 MISSISSAUGA, ON L4V 1Y3 SALEH AL-SAMARRAI 905-462-7524
ELECTRICAL ENGINEER TIGRIS ENGINEERING INC 6751 PROFESSIONAL CRT., UNIT# 203 MISSISSAUGA, ON L4V 1Y3 SALEH AL-SAMARRAI				





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reviewed by RN	drawn by RN
date	SEP 2022
scale	AS SHOWN

drawing title **ACTIVITY HUB COVER SHEET**

A1.00

CITY OF BRANTFORD

SOUTHWEST COMMUNITY PARK, FACILITY BUILDINGS 346 SHELLARD LN, BRANTFORD, ON project number 2023-047



Suite 207, 95 Mural Street, Richmond Hill, Ontario L4B 3G2, Tel. 905.669.6838, www.landscapeplan.ca

CONSTRUCTION PLAN GENERAL NOTES

- ALL PENETRATIONS THROUGH FIRE WALLS, EITHER STRUCTURAL, MECHANICAL OR ELECTRICAL, ARE TO BE PACKED WITH MINERAL FIBER INSULATION AND
- CAULKED TO MAINTAIN SEPARATION INTEGRITY. 2. DIMENSIONS ARE FROM FINISH FACE OF WALLS, REFER TO FOUNDATION PLAN
- FOR FACE OF CONCRETE DIMENSIONS. 3. PROVIDE BULLNOSE CONCRETE BLOCK AT ALL CORNERS AND EXPOSED BLOCK
- EDGES, FIRST COURSE AND TOP COURSE TO BE A STANDARD BLOCK WITH SQUARE EDGE TO ACCEPT WALL BASE AND CEILING TILE (TYPICAL).
- 4. PROVIDE BRACING AT THE TOP OF EACH NEW CONCRETE BLOCK WALL TO
- 5. REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL COMPONENTS.
- REFER TO ELECTRICAL/ MECHANICAL DRAWINGS FOR ALL ELECTRICAL/MECHANICAL COMPONENTS.
- SUPERCEDE STRUCTURAL, MECHANICAL AND ELECTRICAL INFORMATION
- 7. STRUCTURAL, MECHANICAL AND ELECTRICAL ENGINEERS' DRAWINGS TO SHOWN IN THIS DRAWING. CONTRACTOR TO REPORT ANY CONFLICTED INFORMATION TO ARCHITECT AS SOON AS POSSIBLE.

CONSTR	CONSTRUCTION PLAN LEGEND		
SYM	DISCRIPTION		
ROOM 101	ROOM NAME ROOM NUMBER		
1 A1.00	BUILDING SECTION NUMBER SHEET NUMBER		
1 A1.00	1 WALL SECTION NUMBER SHEET NUMBER		
1 A1.00	ELEVATION NUMBER SHEET NUMBER		
103	DOOR NUMBER		
	BARRIER FREE PUSH BUTTON		
W1 WALL TYPE NUMBER			
	WINDOW NUMBER		
1	CODED NOTE		
	1 HOUR FIRE RESISTANCE RATING		

CONSTRUCTION PLAN NOTES

- 1 FLOOR DRAIN. REFER TO PLUMBING DRAWINGS FOR DETAILS.
- HOSE BIB IN VANDAL PROOF BOX. REFER TO PLUMBING DRAWINGS FOR DETAILS.
- WALL MOUNTED GARBAGE RECEPTACLE. REFER TO SPECS FOR DETAILS.
- 4 ELECTRICAL HAND DRYER. REFER TO SPECS FOR DETAILS.
- MOP SINK WITH DRAIN. REFER TO PLUMBING DRAWINGS FOR DETAILS.
- 6 EYE WASH STATION. REFER TO PLUMBING DRAWINGS FOR DETAILS.
- 7 WALL MOUNTED SOAP DISPENSER. REFER TO SPECS FOR DETAILS.
- 8 COUNTER MOUNTED SOAP DISPENSER. REFER TO SPECS FOR DETAILS.

- 10 FIXED BENCH. REFER TO SPECS FOR DETAILS.

- CATCH BASIN. REFER TO PLUMBING DRAWINGS FOR DETAILS.
- WATER FOUNTAIN & BOTTLE FILING STATION. REFER TO PLUMBING DRAWINGS FOR DETAILS.
- EXTERIOR VANDAL PROOF HOSE BIB. REFER TO PLUMBING DRAWINGS FOR DETAILS.
- FLOOR MOUNTED, PRE-FINISHED TOILET PARTITIONS. REFER TO SPECS FOR DETAILS.
- ADULT CHANGE TABLE. REFER TO SPECS FOR DETAILS.
- STAINLESS STEEL SHELF. REFER TO SPECS FOR DETAILS.
- RETRACTABLE COAT HOOK. REFER TO SPECS FOR DETAILS.
- 18 HINEAR TRENCH DRAIN. REFER TO MECHANICAL DRAWING FOE DETAILS.
- ROOF DRAIN. REFER TO PLUMBING DRAWINGS AND SPECS FOR DETAILS.
- 20 -ALUMINUM/ WOOD PARTITION. REFER TO COHEDULE FOR DETAILS.

Architecture • Interior Design • Project Management T | 289-637-1375 E | info@pylonsai.ca W | www.pylonsai.ca A | 20 Rivermede Road, Unit# 101, Concord, Ontario, Canada

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RN SEP 2022

AS SHOWN





drawing title **ACTIVITY HUB CONSTRUCTION PLAN**

A2.00

21 ROOF HATCH, REFER TO CONSTRUCTION

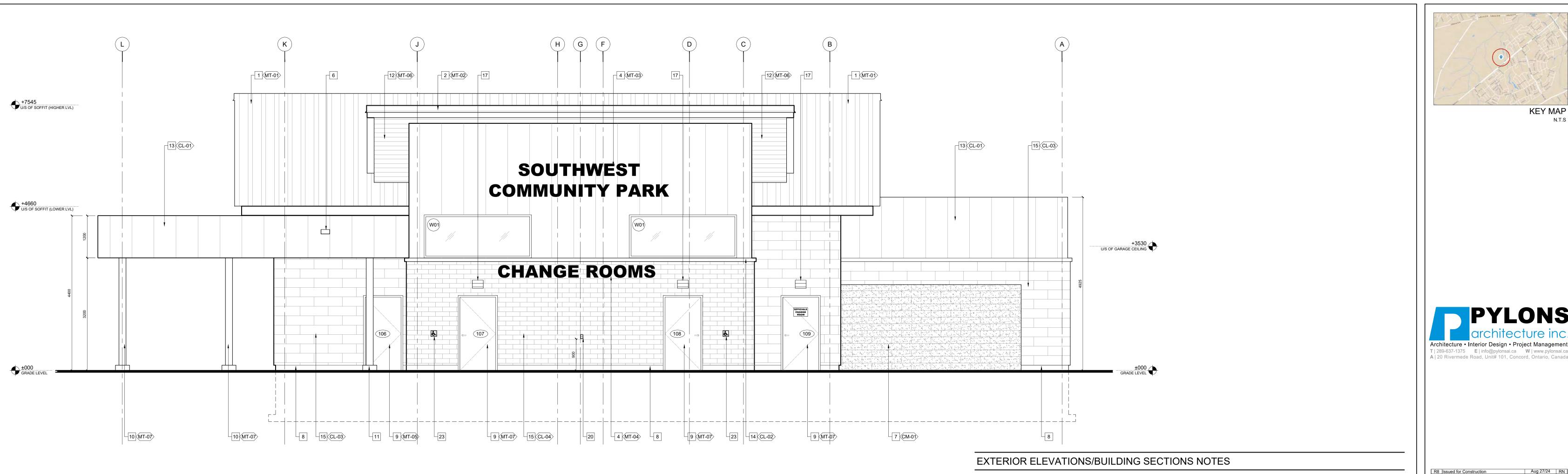
22 -WALL MOUNTED FIXED LADDER FOR ROOF -AGGESS. REFER TO SPESS FOR DETAILS.

DETAILS.

CITY OF BRANTFORD

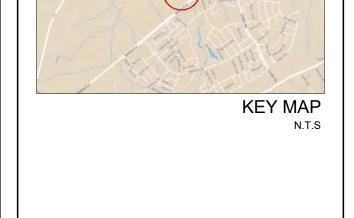
project title SOUTHWEST COMMUNITY PARK, FACILITY BUILDINGS 346 SHELLARD LN, BRANTFORD, ON project number 2023-047

Suite 207, 95 Mural Street, Richmond Hill, Ontario L4B 3G2, Tel. 905.669.6838, www.landscapeplan.ca



_____2 MT-02

13 CL-01





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no.	revision	date	by

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reviewed by RN	drawn by RN
date	SEP 2022
scale	AS SHOWN

drawing title **ACTIVITY HUB EXTERIOR ELEVATIONS 1**

drawing number A4.00

ROLL-UP WINDOW. REFER TO DOOR SCHEDULES

ROLL-UP DOOR. REFER TO DOOR SCHEDULES AND FINISHING SCHEDULE FOR DETAILS.

POWER PUSH BUTTON FOR AUTOMATIC DOORS.

WALL MOUNTED EXHAUST FAN/ LOUVER. REFER

AND FINISHING SCHEDULE FOR DETAILS.

REFER TO SPECS FOR DETAILS.

25 FOR DETAILS.

24 WALL MOUNTED EXTRACT TO MECHANICAL DRAWINGS FOR DETAILS.

CITY OF BRANTFORD

project title SOUTHWEST COMMUNITY PARK, FACILITY BUILDINGS 346 SHELLARD LN, BRANTFORD, ON project number 2023-047





DETAILS.

DETAILS.

PRE-FINISHED METAL SOFFIT PANELS. REFER TO 12 FINISHING SCHEDULE & SPECS FOR DETAILS.

PRE-FINISHED METAL SIDING. REFER TO FINISH

SNOW/ICE CUARD. REFER TO SPECS FOR

OUTDOOR WALL LUMINAIRE. REFER TO RCP & ELECTRICAL DRAWINGS FOR DETAILS.

WATER FOUNTAIN/BOTTLE FILLER . REFER TO PLUMBING DRAWINGS FOR DETAILS.

20 EXTERIOR ELECTRICAL OUTLET. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.

19 EXTERIOR VANDAL PROOF HOSE BIB. REFER TO PLUMBING DRAWINGS & SPEGS FOR DETAILS

MANUFACTURED STONE SILL. REFER TO FINISH SCHEDULE & SPECS FOR DETAILS.

MANUFACTURED STONE/ BRICK CLADDING. REFER TO FINISH SCHEDULE & SPECS FOR

SCHEDULE & SPECS FOR DETAILS.

- STANDING SEAM METAL ROOF. REFER TO FINISHING SCHEDULE & SPECS FOR DETAILS.
- PRE-FINISHED ALUMINUM FASCIA. REFER TO FINISHING SCHEDULE FOR DETAILS.
- STAINLESS STEEL LETTER SIGN, FONT IS ARIAL BLACK, LETTERS ARE 50 THICK AND 450 HIGH.

REFER TO FINISHING SCHEDULE FOR DETAILS.

- STAINLESS STEEL LETTER SIGN, FONT IS ARIAL BLACK, LETTERS ARE 50 THICK AND 350 HIGH.
- REFER TO FINISHING SCHEDULE FOR DETAILS.
- 5 STAINLESS STEEL LETTER SIGN, FONT IS ARIAL BLACK, LETTERS ARE 50 THICK AND 250 HIGH. REFER TO FINISHING SCHEDULE FOR DETAILS.
- 6 SECONDARY EMERGENCY ROOF SCUPPER TO C.R.C.A. STANDARDS.
- 7 CONCRETE MASONRY UNITS WITH ANTI-GRAFFITI COATING. REFER TO FINISHING
- SCHEDULE FOR DETAILS. 8 150 HIGH CONCRETE CURB. REFER TO STRUCTURE DRAWINGS & SPECS FOR DETAILS.
- PAINTED METAL DOOR. REFER TO DOOR &
- 9 FINISH SCHEDULE FOR DETAILS.
- 10 152 X 152 METAL POST. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.

+7200 U/S OF SOFFIT (HIGHER LVL)

5 MT-03 14 CL-02 15 CL-03 20 11 4 MT-04 15 CL-03 02 south elevation SCALE | 1:50

CONCESSION

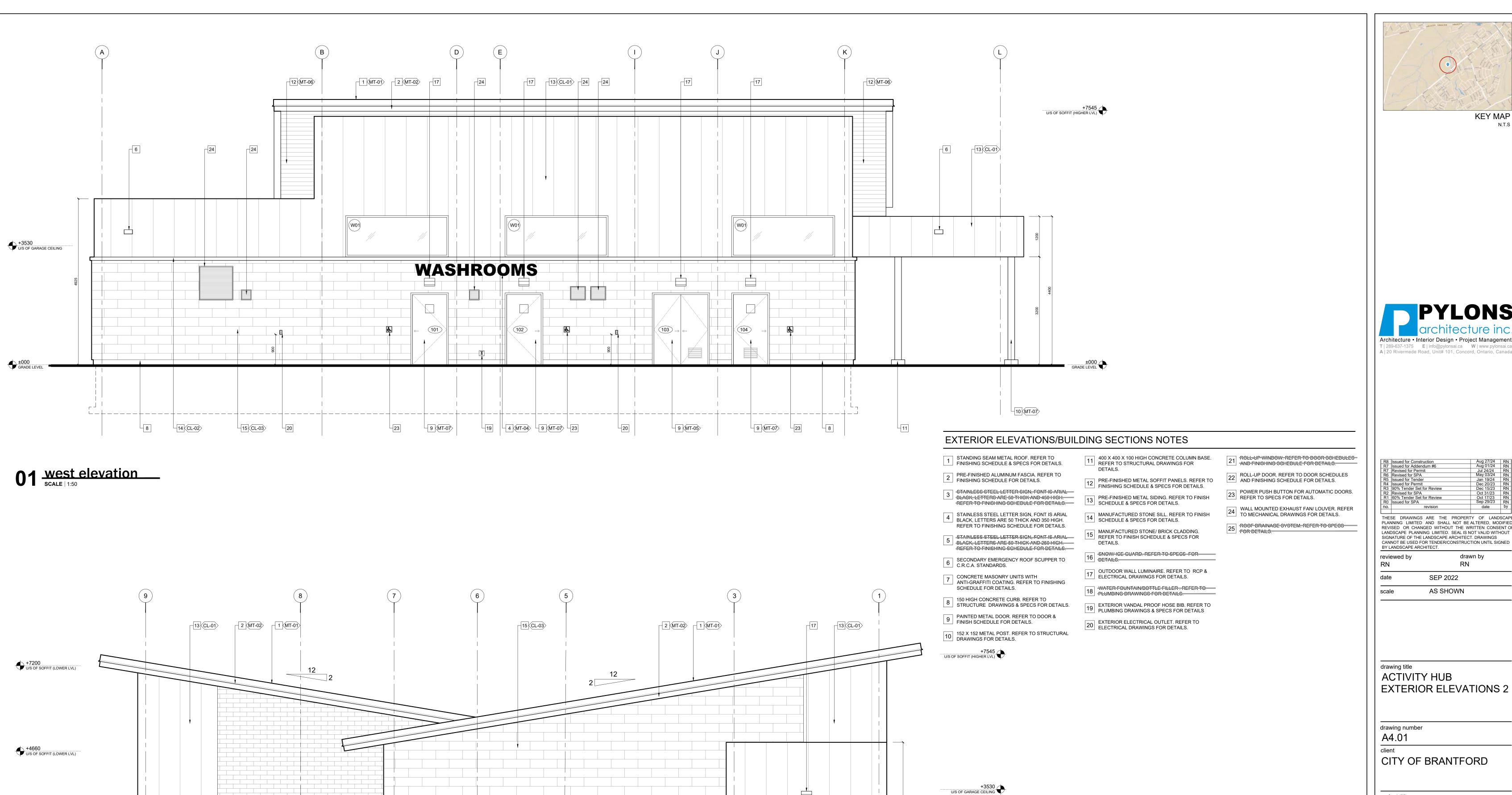
01 east elevation scale | 1:50

+7545 U/S OF SOFFIT (HIGHER LVL)

+4660 U/S OF SOFFIT (LOWER LVL)

1 MT-01

SHELLARD LANE



112

9 MT-05

7 CM-01

15 CL-04 8

14 CL-02

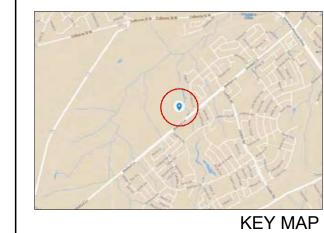
±000 GRADE LEVEL

02 north elevation scale | 1:50

111

15 CL-03

14 CL-02





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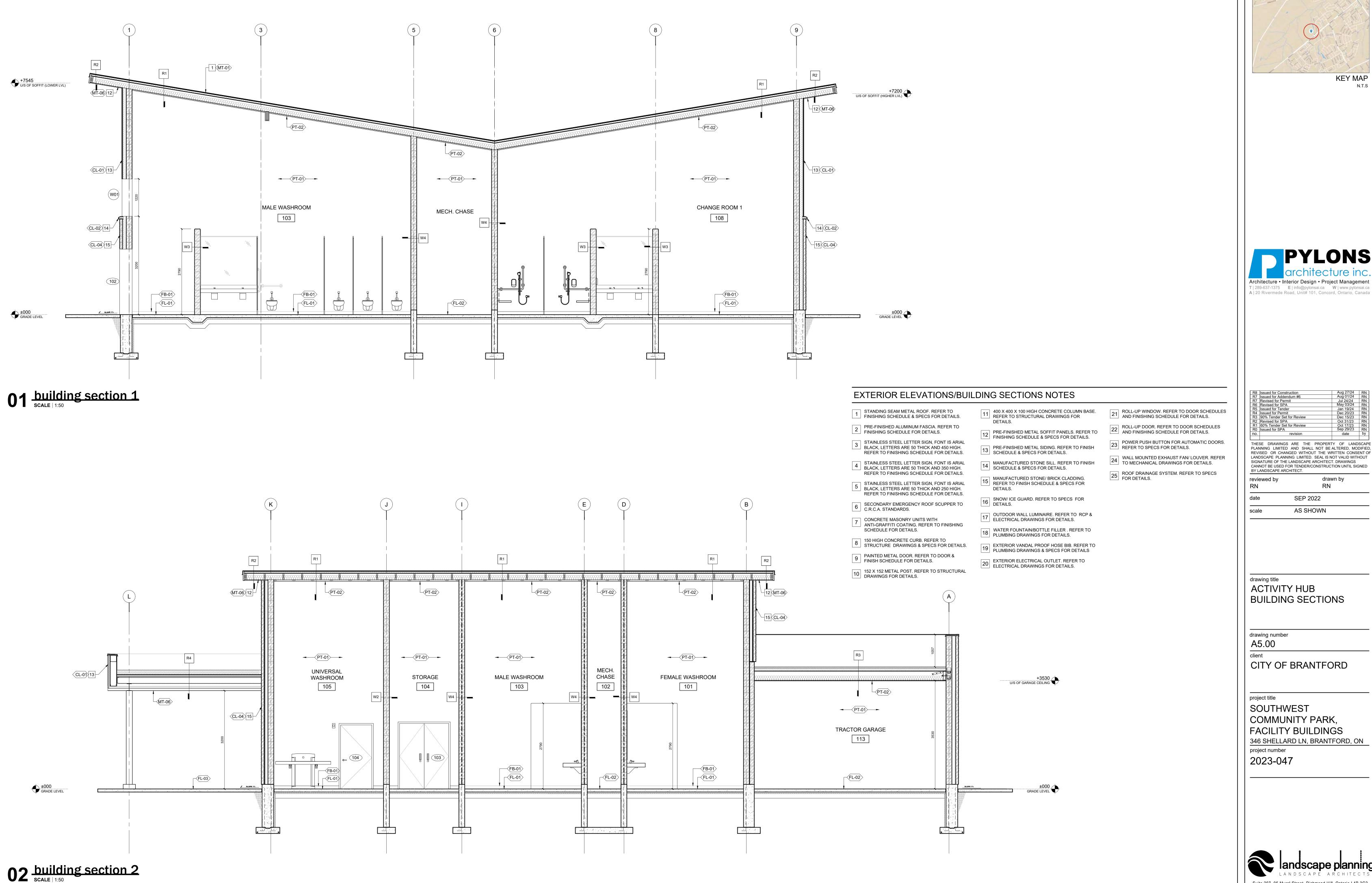
BY LANDSCAPE ARC	CHITECT.
reviewed by	drawn by
RN	RN
date	SEP 2022
scale	AS SHOWN

drawing title **ACTIVITY HUB EXTERIOR ELEVATIONS 2**

drawing number A4.01

CITY OF BRANTFORD







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drawing title **ACTIVITY HUB BUILDING SECTIONS**

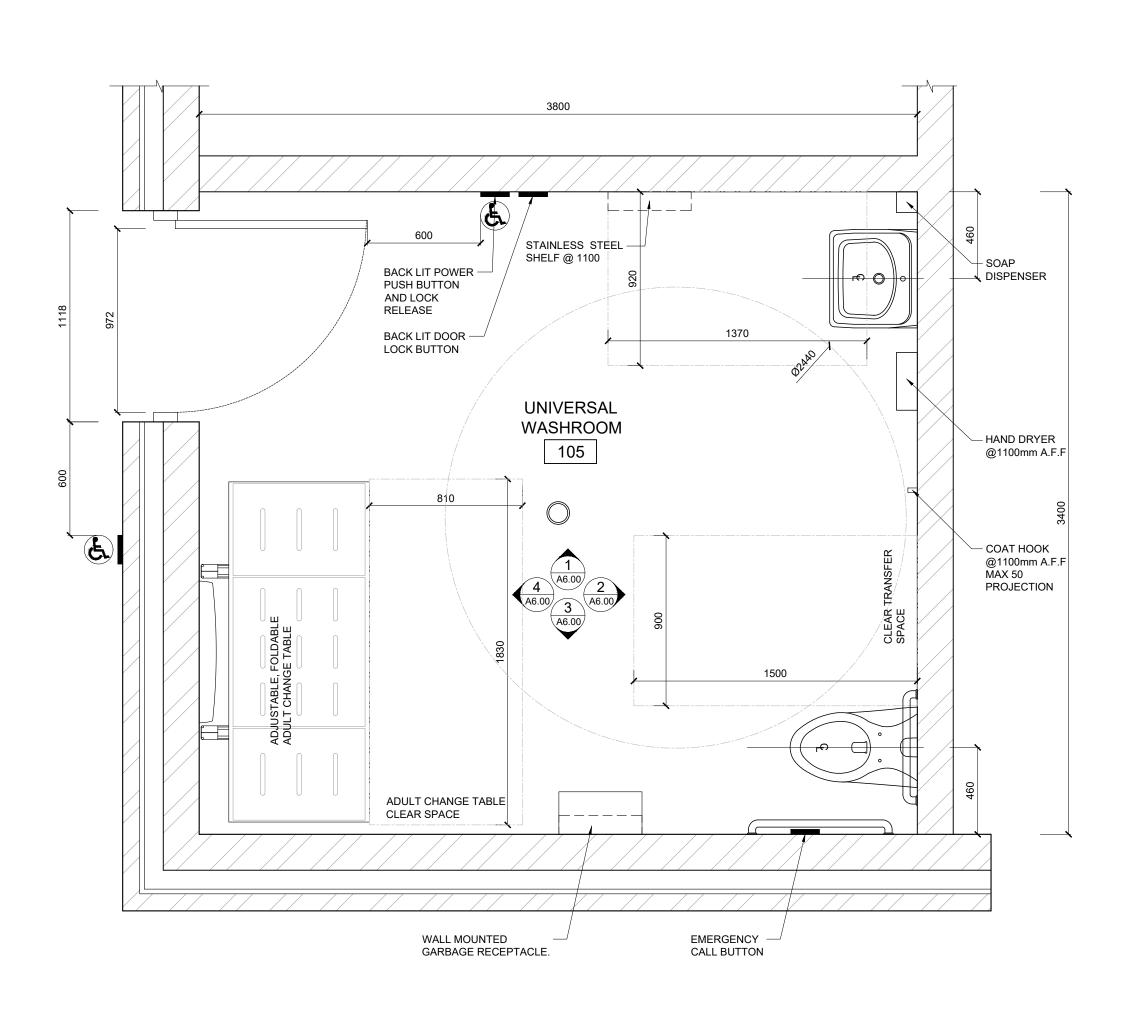
drawing number A5.00

CITY OF BRANTFORD

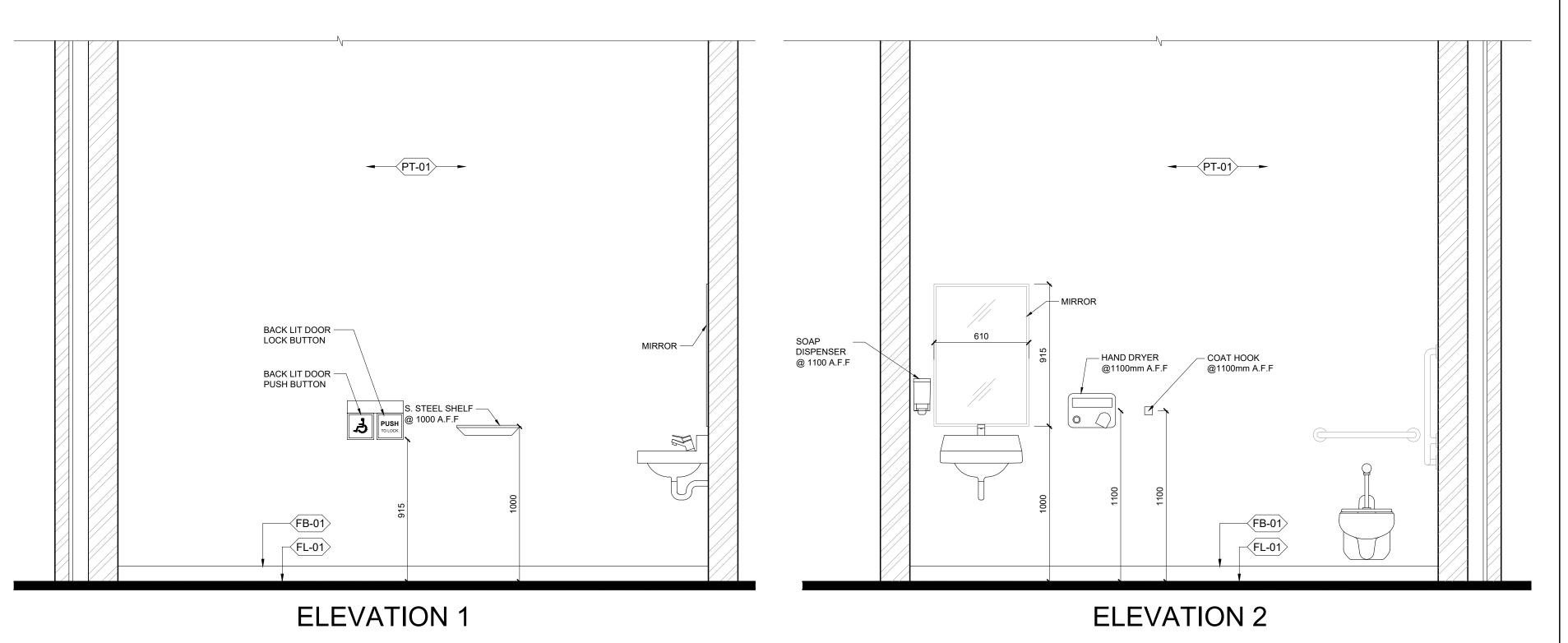
project title SOUTHWEST COMMUNITY PARK, FACILITY BUILDINGS 346 SHELLARD LN, BRANTFORD, ON project number 2023-047



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01 universal washroom detailed plan scale | 1:20



PT-01 PT-01 MOTION/ OCCUPANCY -SENSOR. REFER TO ELECTRICAL DRAWINGS FOR DETAILS. EMERGENCY -SYSTEM SIGN — WALL MOUNTED GARBAGE RECEPTACLE. IN TACTILE — ADJUSTABLE, FOLDABLE ADULT CHANGE TABLE AND BRAILLE EMERGENCY CALL BUTTON TO ACTIVATE A/V SIGNAL TOILET PAPER — DISPENSER FB-01 FL-01 **ELEVATION 3 ELEVATION 4**

02 universal washroom interior elevations



KEY MAP



no.	revision	date	by
	Issued for SPA	Sep 29/23	RN
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	date	SEP 2022
	scale	AS SHOWN

ACTIVITY HUB
UNIVERSAL WASHROOM
DETAILS

drawing number A6.00

CITY OF BRANTFORD



EXCERPTS FROM THE 2012 ONTARIO BUILDING CODE. DIV. B. SECTION 3.8 BARRIER FREE DESIGN

3.8.1.2. Entrances

(1) Except as provided in Sentence 3.13.8.1.(2), the number of barrier-free entrances into a building shall conform to Table 3.8.1.2.

Table 3.8.1.2. Minimum Number of Pedestrian Entrances Required to

be Barrier-Free			
Item	Number of Pedestrian Entrances into Building	Min. Number of Pedestrian Entrances Reg. to Be Barrier-free	
1.	1 to 3	1	
2.	4 or 5	2	
3.	More than 5	Not less than 50%	

(2) One of the barrier-free entrances required by Sentence (1) shall be the principal entrance to the building.

(3) In addition to the barrier-free entrances required by Sentence (1), a suite of assembly occupancy, business and personal services occupancy or mercantile occupancy that is located in the first storey of a building or in a storey to which a barrier-free path of travel is provided, and that is separated from the remainder of the building so that there is no access to the remainder of the building, shall have at least one barrier-free entrance.

(4) A barrier-free entrance shall, (a) be designed in accordance with Article 3.8.3.3., and

(b) lead from (i) the outdoors at sidewalk level, or

(ii) a ramp that conforms to Article 3.8.3.4. and leads from a sidewalk. (5) At a barrier-free entrance that includes more than one doorway, only one of the doorways is required to be designed in accordance with Article 3.8.3.3.

(6) If a walkway or pedestrian bridge connects two barrier-free storeys in different buildings, the path of travel from one storey to the other storey by means of the walkway or bridge shall be barrier-free.

3.8.1.1. Barrier-Free Path of Travel

(c) be stable, firm and slip-resistant

(1) Except as required in Sentence (4) and except as permitted in Subsection 3.8.3., every barrier-free path of travel shall provide an unobstructed width of at least 1100 mm for the passage of wheelchairs. (2) Interior and exterior walking surfaces that are within a barrier-free path

of travel shall (a) have no opening that will permit the passage of a sphere more than 13 mm in dian (b) have any elongated openings oriented approximately perpendicular to the direction of travel,

(d) be bevelled at a maximum slope of 1 in 2 at changes in level not more than 13 mm, and (e) be provided with sloped floors or ramps at changes in level more than 13 mm.

(3) A barrier-free path of travel is permitted to include ramps, passenger elevators or other platform equipped passenger elevating devices to overcome a difference in level (4) Every barrier-free path of travel less than 1600 mm in width shall be provided with an unobstructed space not less than 1800 mm in width

and 1800 mm in length located not more than 30 m apart. (5) Where the headroom of an area in a barrier-free path of travel is reduced to less than 1980 mm, a quardrail or other barrier with its leading edge at or below 680 mm from the finished floor shall be

(6) A normally occupied floor area that is not required by Article 3.8.2.1. to have a barrier-free path of travel shall meet the following requirements: (a) interior walking surfaces throughout the normally occupied floor area shall comply with Clauses (2)(a) to (e) and

(b) where the headroom of an area in a corridor or aisle in the normally occupied floor area is reduced to less than 1980 mm, a guardrail or other barrier with its leading edge at or below 680 mm from the finished floor shall be provided

3.8.1.5 Controls

(1) Except as required by Sentences 3.5.2.2.(1) and 3.8.3.5.(1) for elevators and Sentence 3.8.3.3.(17) for power door operator controls. controls for the operation of building services or safety devices. including electrical switches, thermostats and intercom switches, intended to be operated by the occupant and located in a barrier-free path of travel shall,

(a) be mounted. (i)1200 mm above the finished floor, in the case of a thermostat or a manual pull station, and

(ii) not less than 900 mm and not more than 1100 mm above the finished floor, in the case of all other controls, and (b) be located, so as to be adjacent to and centered on either the length or the width of a clear floor space of 810 mm by 1 370 mm, and

(c) be operable) using one hand, without requiring tight grasping, pinching with fingers or twisting of the wrist, and with a force of not more than 22.2 N. in the case of a manual pull station, and (j) using a closed fist and with a force of not more than 22.2 N, in the

case of all other controls. (2) A signal intended for the public to indicate the operation of a building security system that controls access to a building shall consist of an audible and visual signal.

3.8.3.1. Exterior Walks

(1) Except as provided in Sentence (2), exterior walks that form part of a barrier-free path of travel shall, (a) be provided by means of a continuous plane not interrupted by

steps or abrupt changes in level, (b) have a permanent, firm and slip-resistant surface, (c) except as required in Sentence 3.8.1.3.(4), have an uninterrupted width of not less than 1100 mm and a gradient not exceeding 1 in

(d) be designed as a ramp where the gradient is greater than 1 in 20, (e) have not less than 1100 mm wide surface of a different texture to that surrounding it, where the line of travel is level and even with

adjacent walking surfaces, (f) be free from obstructions for the full width of the walk to a minimum height of 1980 mm, except that handrails are permitted to project not more than 100 mm from either side into the clear area. (g) have a level area adjacent to the entrance doorway conforming to Clause 3.8.3.4.(1)(c), and

is located to identify an entry into a vehicular route or area where no curbs or any other element separate the vehicular route or area from a pedestrian route. (2) Where a difference in elevation between levels in a walkway is not

(h) have a tactile attention indicator conforming to Article 3.8.3.18. that

more than 200 mm, a curb ramp conforming to Sentences (3) and (4) may be provided (3) The curb ramp permitted by Sentence (2) shall,

(a) have a running slope conforming to Table 3.8.3.2., (b) have a width of not less than 1500 mm exclusive of flared sides. (c) have a surface including flared sides that shall, (i) be slip-resistant,

(ii) have a detectable warning surface that is colour- and texture-contrasted with the adjacent surfaces, and (iii) have a smooth transition from the ramp and adjacent surfaces, and (d) have flared sides with a slope of not more than 1:10 where pedestrians are likely to walk across them. (4) Curb ramps described in Sentence (3) do not require handrails or

Table 3.8.3.2. Ramp Rise and Slope

Item	Column 1	Column 2
	Vertical Rise Between Surfaces, mm	Slope
1.	75 to 200	1:10 to 1:12
2.	Less than 75	1:8 to 1:10

3.8.3.3. Doorways and Doors (1) Every doorway that is located in a barrier-free path of travel shall have a clear width of not less than 860mm when the door is in the open

(2) Except as provided in Sentence 3.3.4.11.(11) and except where no bathroom within the suite is at the level of the suite entrance door to which a barrier-free path of travel is provided in accordance with Sentence 3.8.2.1.(1), the doorway to at least 1 bathroom and to each bedroom at the same level as such bathroom within a suite of residential occupancy shall have, when the door is in the open position, a clear width of not less than, (a) 760 mm where the door is served by a corridor or space not less

than 1060 mm wide, and (b) 810 mm where the door is served by a corridor or space less than 1060 mm wide. (3) Door opening devices that are the only means of operation shall,

(a) be designed to be operable using a closed fist, and (b) be mounted not less than 900 mm and not more than 1100 mm above the finished floor. (4) Except as permitted by Sentence (12), every door that provides a barrier-free path of travel through a barrier-free entrance required by

Article 3.8.1.2. shall be equipped with a power door operator if the entrance serves a building containing a Group A, Group B, Division 2 or 3. Group C. Group D or Group E occupancy (5) Except as permitted by Sentence (12), where a barrier-free entrance

required by Article 3.8.1.2. incorporates a vestibule, a door leading from the vestibule into the floor area shall be equipped with a power door operator in a building containing a Group A, Group B, Division 2 or 3, Group C, Group D or Group E occupancy (6) A door shall be equipped with a power door operator where the door

(a) a washroom for public use required to be barrier-free, or (b) a Group A occupancy within a Group C major occupancy apartment

(7) Except as permitted in Sentence (8), and except for doors with power operators, closers for doors in a barrier-free path of travel shall be designed to permit doors to open when a force of not more than 38 N is applied to the handles, push plates or latch-releasing devices in the case of exterior doors and 22 N in the case of interior doors. (8) Sentence (7) does not apply to doors at the entrances to dwelling units

or where greater forces are required in order to close and latch the doors against prevailing differences in air pressures on opposite sides of the doors (9) Except for doors at the entrances to dwelling units, closers for interior doors in a barrier-free path of travel shall have a closing period of not less than 3 seconds measured from when the door is in an open

position of 70° to the doorway, to when the door reaches a point 75 mm from the closed position, measured from the leading edge of the latch side of the door (10) Unless equipped with a power door operator, a door in a barrier-free

path of travel shall have a clear space on the latch side extending the height of the doorway and not less than (a) 600 mm beyond the edge of the door opening if the door swings toward the approach side, (b) 300 mm beyond the edge of the door opening if the door swings away from the approach side, and

(c) 300 mm beyond both sides of a sliding door. (11) Vestibules located in a barrier-free path of travel. (a) shall be arranged to allow the movement of wheelchairs between doors, and

(b) shall provide, (i) where the doors into the vestibule are in series, a distance between the doors of at least 1 500mm plus the width of any door that swings into the space in the path of travel from one door to another,

(ii) where the doors into the vestibule are not aligned, a turning diameter of 1500 mm within the vestibule clear of any door swing. (12) Only the active leaf in a multiple leaf door in a barrier-free path of travel need conform to the requirements of this Article (13) Except as provided in Clause 3.8.3.4.(1)(c), the floor surface on each

side of a door in a barrier-free path of travel shall be level within a rectangular area (a) as wide as the door plus the clearance required on the latch side by Sentence (10), and (b) whose dimension perpendicular to the closed door is not less than

the width of the barrier-free path of travel but need not exceed 1 (14) Where a vision panel is provided in a door in a barrier-free path of travel, such panel shall be at least 75mm in width and be located so

(a) the bottom of the panel is not more than 900 mm above the finished (b) the edge of the panel closest to the latch is not more than 250 mm from the latch side of the door.

(15) A door in a barrier-free path of travel consisting of a sheet of glass shall be marked with a continuous opaque strip that. (a) shall be colour and brightness contrasted to the background of the (b) shall be at least 50 mm wide,

(c) shall be located across the width of the door at a height of 1 350 mm to 1 500 mm above the finished floor, and (d) may incorporate a logo or symbol provided such logo or symbol does not diminish, (i) the opacity of the strip,

(ii) the width of the strip, (iii) the colour and brightness contrast of the strip to the background of the door, and (iv) the continuity of the strip across the width of the door.

(16) Reserved. (17) Except where a proximity scanning device is installed in conformance with Sentence (18), the control for a power door operator required by

Sentence (4), (5) or (6) shall, (a) have a face dimension of not less than. (i) 150 mm in diameter where the control is circular, or (ii) 50 mm by 100 mm where the control is rectangular (b) be operable using a closed fist,

(c) be located so that, (i) its centre is located not less than 900 mm and not more than 1100 mm from the finished floor or around, or (ii) it extends from not more than 200 mm to not less than 900 mm above the finished floor or ground,

(d) be located not less than 600 mm and not more than 1 500 mm beyond the door swing where the door opens towards the control, (e) be located to allow persons to activate the opening of the door from either direction of travel

(f) be located so that the path of travel is not obstructed, (g) in a clearly visible position, and (h) contain a sign incorporating the International Symbol of Access.

comply with Sentence (17).

may be reduced to 300 mm,

dimension is not more than 57 mm,

width as the ramp,

both sides that shall,

create a hazard,

bottom of the ramp,

3.4.6.5.(13), and

(q) be provided,

(b) have a maximum gradient of 1 in 12,

(a) have a minimum width of 900 mm between handrails,

(c) have a level area of at least 1 670 mm by 1 670 mm at the top and

level area extends at least 600 mm beyond the latch side of the

door opening, except that where the door opens away from the

(d) have a level area at least 1 670 mm long and at least the same

(ii) where there is a change of 90° or more in the direction of the ramp,

circular cross-section with an outside diameter not less than 30 mm

graspable portion that has a perimeter not less than 100 mm and

(e) except as provided in Sentence (2), be equipped with handrails on

and not more than 40 mm, or any non-circular shape with a

measured vertically from the surface of the ramp, except that

handrails not meeting these requirements are permitted provided

(iii) be terminated in a manner that will not obstruct pedestrian travel or

(vi)be designed and constructed such that handrails and their supports

will withstand the loading values obtained from the nonconcurrent

application of a concentrated load not less than 0.9 kN applied at

any point and in any direction for all handrails and a uniform load

not less than 0.7 kN/m applied in any direction to the handrail,

(i) be not less than 1 070 mm measured vertically to the top of the

(ii) be designed so that no member, attachment or opening located

between 140 mm and 900 mm above the ramp surface being

(i) with a curb at least 50 mm high on any side of the ramp where no

(ii) with railings or other barriers that extend to within 50 mm of the

(h) except as provided in Sentence (2), where the ramp is wider than

mm between the intermediate handrail and one of the handrails

requirements for handrails in Clauses (1)(e) and (h) and for walls or

(3) Floors or walks in a barrier-free path of travel having a slope steeper

Every barrier-free water closet stall or enclosure in a washroom

(a) have a clear turning space within the stall or enclosure of at least

finished ramp surface or have a curb not less than 50 mm high, and

2 200 mm, have an intermediate handrail with a clear width of 900

(f) except as provided in Sentence (2), have a wall or a guard on both

(iv)extend horizontally not less than 300 mm beyond the top and

(v) be provided with a clearance that conforms to Sentence

sides and where a guard is provided the guard shall,

protected by the guard will facilitate climbing,

solid enclosure or solid guard is provided, and

(2) Where a ramp serves as an aisleway for fixed seating, the

3.8.3.8. Water Closet Stalls and Enclosures

guard from the ramp surface, and

described in Clause (e).

quards in Clause (1)(f) need not apply

than 1 in 20 shall be designed as ramps.

described in Sentence 3.8.2.3.(3) or (4) shall,

1500 mm in diameter,

not more than 155 mm and whose largest cross-sectional

(ii) be not less than 865 mm and not more than 965 mm high.

they are installed in addition to the required handrail,

(i) be continuously graspable along their entire length and have

(i) at intervals of not more than 9 m along its length, and

bottom of a ramp and where a door is located in a ramp, so that the

ramp, the area extending beyond the latch side of the door opening

3.8.3.1. Ramps

(18) A proximity scanning device that activates a power door shall be capable of detecting a person in a wheelchair. (19) A normally occupied floor area that is not required by Article 3.8.2.1. to have a barrier-free path of travel shall comply with the following

(a) all doorways in public corridors in the normally occupied floor area shall comply with Sentence (1)

(b) door opening devices that are the only means of operation on doors in the normally occupied floor area shall comply with Sentence (3), (c) where a vision panel is provided in a door in the normally occupied

is operable using a closed fist floor area, the panel shall comply with Sentence (14), (ii) when the door is in an open position, have a clear opening of at (d) doors consisting of a sheet of glass in the normally occupied floor least 810 mm, (iii) swing outward, unless the minimum dimensions in Clause (a) are area shall comply with Sentence (15), and (e) where a power door operator is installed for doors in the normally not located within the door swing,

occupied floor area, the control for the power door operator shall (iv)be provided with spring-type or gravity hinges so that the door closes automatically, (v) be provided with a door pull on both sides of the door, near the latch side of the door, located at a height not less than 900 mm and not (1) Ramps located in a barrier-free path of travel shall, more than 1 100 mm above the finished floor, and

(vi)be capable of having the latch required by Subclause (i) released from the outside in the case of an emergency, (c) be equipped with a water closet conforming to Article 3.8.3.9. and located so that its centre line is centred between the partition walls, (d) be equipped on each side of the water closet with grab bars conforming to Clause (3)(a), and

(b) have a clear floor space in front of the stall or enclosure of at least

(i) is capable of being latched from the inside with a mechanism

(ii) in an open position, has a clear opening of at least 860 mm wide,

(iii) swings outward, unless 820 mm by 1440 mm clear floor area is

provided within the stall to permit the door to be closed without

(iv)is self-closing so that, when at rest, the door remains open not more

pull on both sides of the door, mounted on the vertical centre line of

the door, located at a height not less than 800 mm and not more

(vii) is capable of having the latch required by Subclause (i) released

(e) be equipped with a coat hook mounted not more than 1 200 mm

(f) have a clearance of at least 1 700 mm between the outside of the

mm between the outside of the stall face and any wall-mounted

(g) be equipped with a toilet paper dispenser mounted on the side wall

(ii) the closest edge of the dispenser is 300 mm from the front of the

(i) the centre line of the water closet is not less than 460 mm and not

(ii) a clear transfer space at least 900 mm wide and 1 500 mm deep is

(a) a grab bar conforming to Sentences (5) and (7) shall be provided on

shall conform to Sentence (8) and be provided on the side of the water closet opposite the grab bar described in Clause (a), and

(c) a grab bar conforming to Sentences (6) and (7) shall be provided on

(a) a fold-down grab bar conforming to Sentence (8) shall be provided

(b) a grab bar conforming to Sentences (6) and (7) shall be provided or

(a) be continuous L-shaped with 750 mm long horizontal and vertical

(b) be wall mounted with the horizontal component 750 mm above the

finished floor and the vertical component 150 mm in front of the

(b) be wall mounted horizontally from 840 mm to 920 mm above the

(a) be installed to resist a load of at least 1.3 kN applied vertically or

(b) be not less than 30 mm and not more than 40 mm in diameter,

from the wall to the inside surface of the grab bar, and

(8) A fold-down grab bar described in Clause (3)(b) or (4)(a) shall,

(b) not require a force of more than 22.2 N to pull it down,

(a) be mounted on the wall behind the water closet,

(c) have a clearance of not less than 38 mm and not more than 50 mm

(ii) not less than 390 mm and not more than 410 mm from the centre

(d) be installed to resist a load of at least 1.3 kN applied vertically o

9) A fold-down grab bar installed in accordance with Sentence (8) is

(a) the clear turning space described in Clause (1)(a), or

(e) be not less than 30 mm and not more than 40 mm in diameter, and

(b) a clear transfer space described in Subclause (2)(a)(ii) or Clause

(a) be at least 1 500 mm in depth and be not less than 890 mm and not

(i) be capable of being latched from the inside with a mechanism that

(10) Where an ambulatory water closet stall or enclosure is required by

finished floor and, where the water closet has a water tank, be wall

(b) located so that a clear transfer space at least 900 mm wide and

1 500 mm deep is provided on each side of the water closet.

(b) a fold-down grab bar may be provided and, if one is provided, it

Where a water closet is located in accordance with Clause (2)(b),

Where a water closet is located in accordance with Clause (2)(a).

(iii) the bottom of the dispenser is 600 mm to 800 mm above the

(d) be equipped with a water closet conforming to Article 3.8.3.9. that is

above the finished floor on a side wall and projecting not more than

stall face and the face of an in-swinging washroom door and 1 400

(v) is provided with a horizontal, D-shaped, visually contrasting door

(vi) is aligned with a clear transfer space required by Subclause

1500 mm in diameter,

(c) be equipped with a door that

interfering with the wheelchai

than 50 mm beyond the jamb,

(2)(a)(ii) or Clause (2)(b), and

fixture or other obstruction, and

closest to the water closet so that,

(i) the dispenser is located below the grab bar

(2) A water closet described in Clause (1)(d) shall be,

more than 480 mm from one side wall, and

provided on the other side of the water closet, or

the side wall referred to in Subclause (2)(a)(i),

the wall behind the water closet.

the wall behind the water closet.

(a) be at least 600 mm in length, and

mounted 150 mm above the tank.

(d) have a slip-resistant surface.

line of the water closet,

(c) be at least 750 mm in length,

(f) have a slip-resistant surface.

permitted to encroach into,

Sentence 3.8.2.3.(6), it shall,

more than 940 mm in width.

(b) be equipped with a door that shall

components, and

water closet.

horizontally

horizontally

(5) A grab bar described in Clause (3)(a) shall,

(6) A grab bar described in Clause (3)(c) or (4)(b) shall

7) A grab bar described in Clause (3)(a) or (c) or (4)(b) shall,

on each side of the water closet, and

50 mm from the wall,

water closet seat, and

finished floor.

(a) located so that.

than 1000 mm above the finished floor

from the outside in case of an emergency,

located in accordance with Clause (2)(a) or (b),

conforming to Subclause 3.8.1.5.(1)(c)(ii)

(e) be equipped with a coat hook conforming to Clause (1)(e). 3.8.3.1. Water Closets

(1) A water closet described in Clause 3.8.3.8.(1)(d) or (10)(c) or 3.8.3.12.(1)(d) shall, (a) be equipped with a seat located at not less than 430 mm and not more than 485 mm above the finished floor. (b) flush automatically or be equipped with a flushing control that,

(i) is located between 500 mm and 900 mm above the finished floor, (ii) is operable from the transfer side, and (iii) is operable using a closed fist and with a force of not more than 22.2 N. and (c) be equipped with a back support where there is no seat lid or tank.

(1) Where more than one urinal is provided in a washroom described in Sentence 3.8.2.3.(3) or (4), at least one urinal shall, (a) be mounted with the rim located not more than 430 mm above the (b) have a clear floor space at least 800 mm wide that is perpendicular

to, and centred on, the urinal and is unobstructed by privacy screens, and

(c) have no step in front of it (2) A urinal described in Sentence (1) shall, (a) flush automatically or be equipped with a flushing control that is, (i) located between 900 mm and 1 100 mm above the finished floor. (ii) operable using a closed fist and with a force of not more than 22.2

(b) have installed on each side, a vertically mounted grab bar that, (i) complies with Article 3.8.3.8.(7), (ii) is not less than 600 mm long, with its centre line 1 000 mm above the finished floor, and (iii) is located not more than 380 mm from the centre line of the urinal.

(3) Where privacy screens are installed for a urinal described in Sentence (1), they shall, (a) be mounted a minimum of 460 mm from the centre line of the urinal,

(b) have a clearance of at least 50 mm from the grab bars required by Clause (2)(b). 4) Where more than one urinal is provided in a washroom described in Sentence 3.8.2.3.(6), at least one urinal conforming to Sentences (1) to (3) shall be provided in the washroom.

3.8.3.11. Lavatories, Mirrors and Washroom Accessories

(1) A washroom described in Sentence 3.8.2.3.(2), (3) or (4) shall be provided with a lavatory that shall. (a) be located so that the distance between the centre line of the lavatory and the side wall is not less than 460 mm, (b) have a rim height not more than 865 mm above the finished floor, (c) have a clearance beneath the lavatory not less than, (i) 920 mm wide, (ii) 735 mm high at the front edge,

(iii) 685 mm high at a point 200 mm back from the front edge, and

(iv)350 mm high over the distance from a point 280 mm to a point 430 mm back from the front edge, (d) have insulated pipes where they would otherwise present a burn

hazard or have water supply temperature limited to a maximum of

(e) be equipped with faucets that, (i) operate automatically or comply with 3.7.4.2.(11)(b)(i) and (ii), and (ii) are located so that the distance from the centre line of the faucet to the edge of the basin or, where the basin is mounted in a vanity, to

the front edge of the vanity, is not more than 485 mm, (f) have a minimum 1 370 mm deep floor space to allow for a forward approach, of which a maximum of 500 mm can be located under the lavatory,

(a) have a soap dispenser that (i) operates automatically or is operable using a closed fist and with a

force of not more than 22.2 N, and (ii) is located not more than 1 100 mm above the finished floor, within 500 mm from the front of the lavatory,

(h) have a towel dispenser or other hand drying equipment that is. (i) located to be accessible to persons in wheelchairs, (ii) located so that the dispensing height is not more than 1 200 mm above the finished floor

(iii) operable with one hand, and (iv)located not more than 610 mm, measured horizontally, from the edge of the lavatory. (2) If mirrors are installed in a washroom described in Sentence

3.8.2.3.(2), (3) or (4), at least one mirror shall be, (a) installed above a lavatory required by Sentence (1), and (b) mounted with its bottom edge not more than 1 000 mm above the finished floor or inclined to the vertical to be usable by a person in a wheelchair.

(3) If dispensing or hand-operated washroom accessories, other than those located in water closet stalls or enclosures and those described in Clause (1)(g), are provided, they shall be mounted so that, (a) the dispensing height is not less than 900 mm and not more than 1 200 mm above the finished floor

(b) the controls or operating mechanisms are mounted not less than 900 mm and not more than 1 200 mm above the finished floor, and (c) a minimum 1 370 mm deep floor space is provided in front of the controls or operating mechanisms to allow for a front approach.

(a) be located not more than 200 mm above the top of the lavatory and not more than 1 100 mm above the finished floor, and (b) project not more than 100 mm from the wall.

(4) Where a shelf is installed above a lavatory required by Sentence (1), it

(5) A washroom described in Sentence 3.8.2.3.(6) shall be provided with a lavatory conforming to Clauses (1)(e), (g) and (h).

3.8.3.1. Universal Washrooms

 A universal washroom shall. (a) be served by a barrier-free path of travel,

(b) have a door that complies with Article 3.8.3.3. (ii) has a graspable latch-operating mechanism that is, (A) operable using a closed fist and with a force of not more than 22.2 N, and

(B) located between 900 mm and 1 000 mm above the finished floor, and (iii)is capable of being locked from the inside and released from the outside in case of emergency

(c) have one lavatory conforming to Sentences 3.8.3.11.(1), (3) and (4). (d) have one water closet conforming to Article 3.8.3.9. that is located in accordance with Clause 3.8.3.8.(2)(a) or (b), (e) have grab bars conforming to,

(i) Sentence 3.8.3.8.(3), if the water closet is located in accordance with Clause 3.8.3.8.(2)(a). or (ii) Sentence 3.8.3.8.(4), if the water closet is located in accordance with Clause 3.8.3.8.(2)(b),

(f) have no internal dimension between walls that is less than 1 700 (g) have a coat hook that conforms to Clause 3.8.3.8.(1)(e) and a shelf that is located not more than 1 100 mm above the finished floor and

(h) be designed to permit a wheelchair to turn in an open space not less than 1 700 mm in diameter, (i) with the horizontal component 750 mm above the finished floor, and (i) be provided with a door equipped with a power door operator,

projects not more than 100 mm from the wall.

(i) be provided with a mirror, (i) installed above a lavatory described in Clause (1)(c), and (ii) mounted with its bottom edge not more than 1 000 mm above the finished floor or inclined to the vertical to be usable by a person in a

wheelchair, and (k) have lighting controlled by a motion sensor conforming to Sentence 12.2.4.1.(2).

(2) A universal washroom shall have. devices inside and outside of the washroom that are activated by a control device inside the washroom, and (b) an emergency sign that contains the words IN THE EVENT OF AN EMERGENCY PUSH EMERGENCY BUTTON AND AUDIBLE AND VISUAL SIGNAL WILL ACTIVATE in letters at least 25 mm high

with a 5 mm stroke and that is posted above the emergency button. (3) A clear space not less than 810 mm wide and 1 830 mm long shall be provided in each universal washroom for an adult-size change table. (4) Where the clear space provided for an adult-size change table is adiacent to a wall, reinforcement shall be installed in the wall to permit the future installation of the change table

(5) Where an adult-size change table is installed, it shall, (a) when fully loaded, have a surface height above the finished floor that can be adjusted from between 450 mm and 500 mm at the low range to between 850 mm and 900 mm at the high range, (b) be designed to carry a minimum load of 1.33 kN,

(c) have a clear floor space parallel to the long side of the table not less than 760 mm wide and 1 500 mm long, and (d) in the case of a fold-down table, (i) be installed so that it does not encroach into a clear transfer space

described in Clause 3.8.3.8.(2)(a) or (b), and

(ii) have no operating mechanisms higher than 1 200 mm. (6) A universal washroom need not conform to Sentences (3) and (4) if, (a) it is located in an individual suite that (i) is used for an assembly occupancy, a business and personal services occupancy, a mercantile occupancy or an industrial

occupancy, and (ii) meets one of the following requirements, (A) it is located in a building that is less than 300 m2 in building (B) it is less than 300 m2 in area, if located in a building that is at least 300 m2 in building area, or

(b) another universal washroom conforming to this Article is provided on the same floor level within 45 m.





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R8	Issued for Construction	Aug 27/24	RN
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R3	90% Tender Set for Review	Dec 15/23	RN
R2	Revised for SPA	Oct 31/23	RN
R1	60% Tender Set for Review	Oct 17/23	RN
R0	Issued for SPA	Sep 29/23	RN
no.	revision	date	by
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RN	RN
date	SEP 2022
scale	AS SHOWN

drawing title **ACTIVITY HUB BARRIER FREE** STANDARD DETAILS

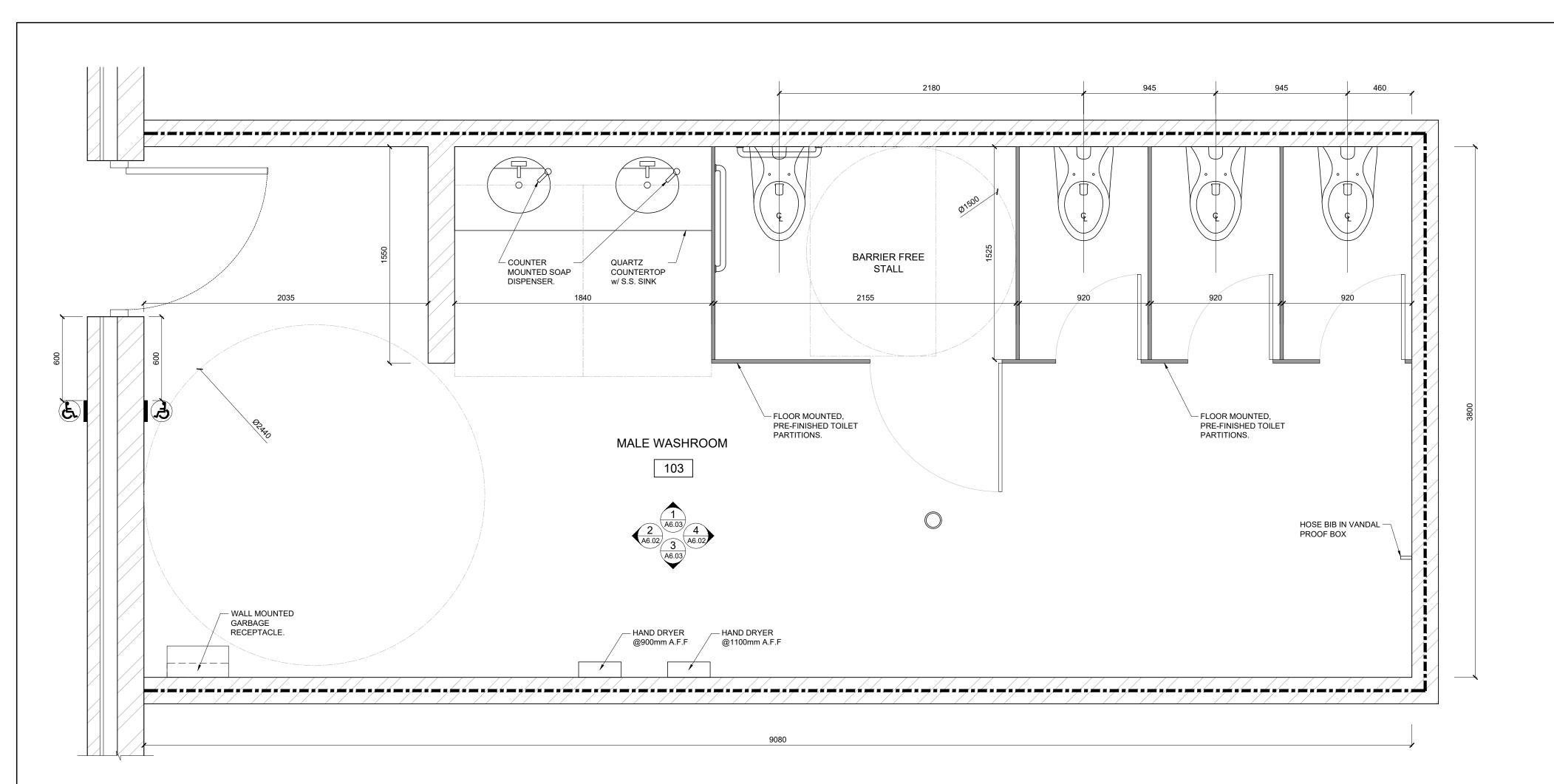
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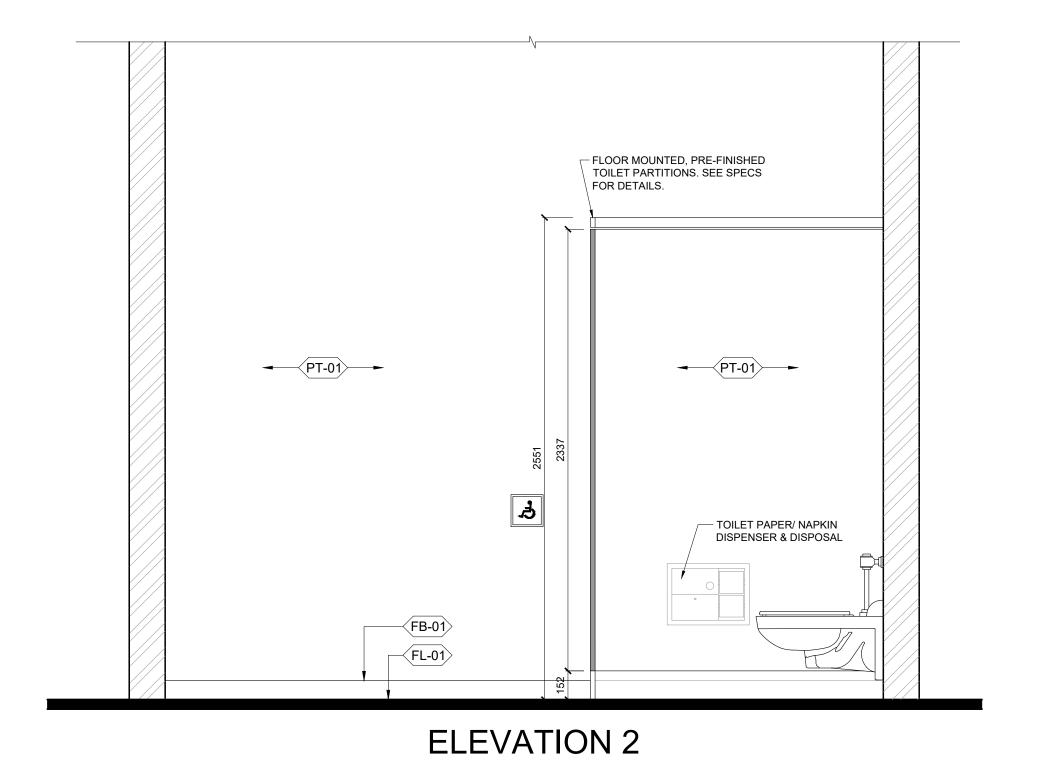
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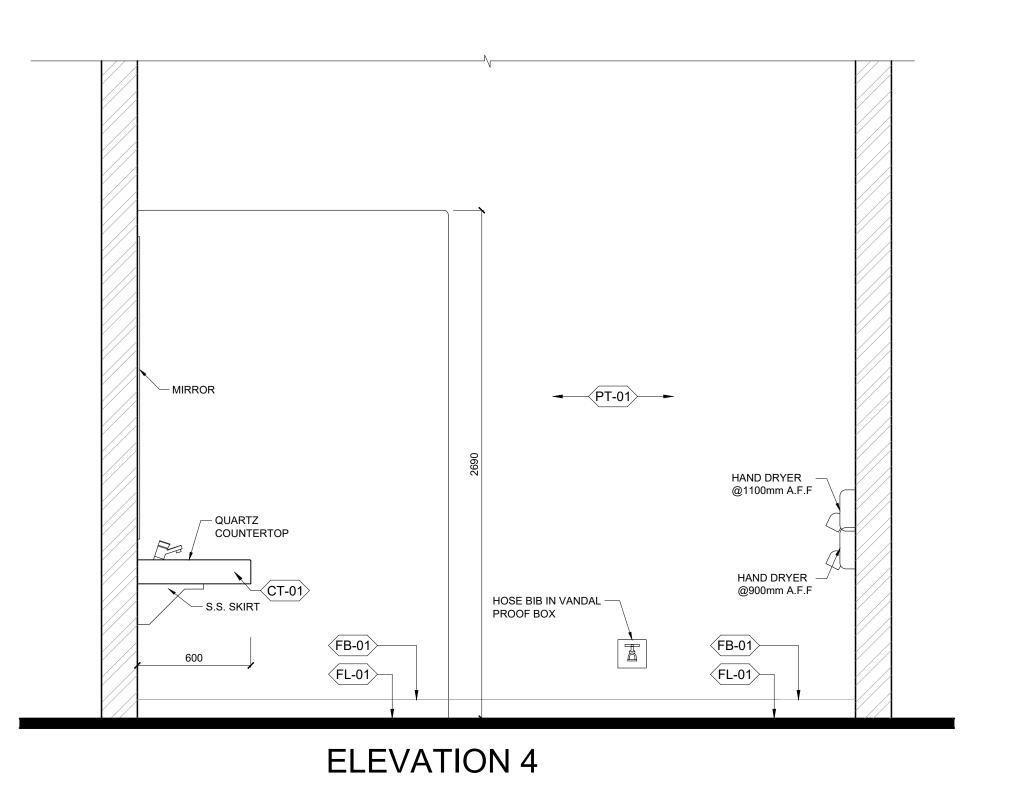


Tel. 905.669.6838, www.landscapeplan.ca



01 male washroom detailed plan scale | 1:20





KEY MA



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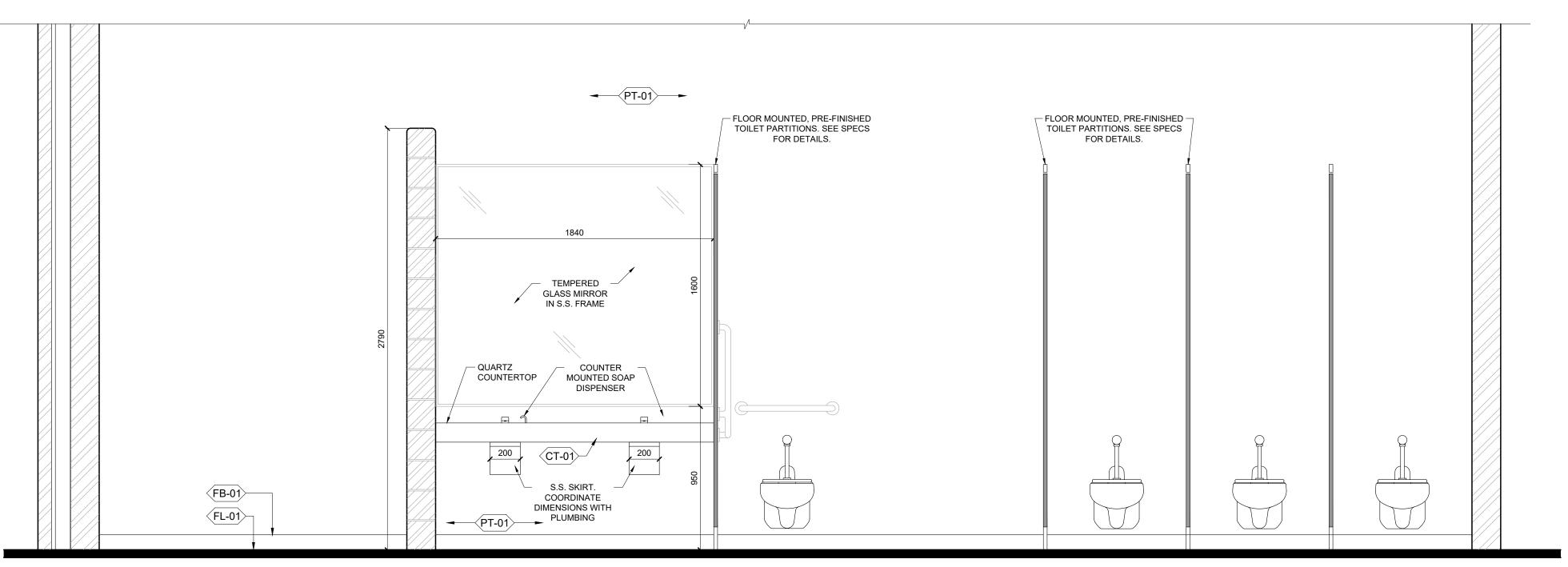
RN	RN
date	SEP 2022
scale	AS SHOWN

ACTIVITY HUB
MALE WASHROOM
DETAILS 1

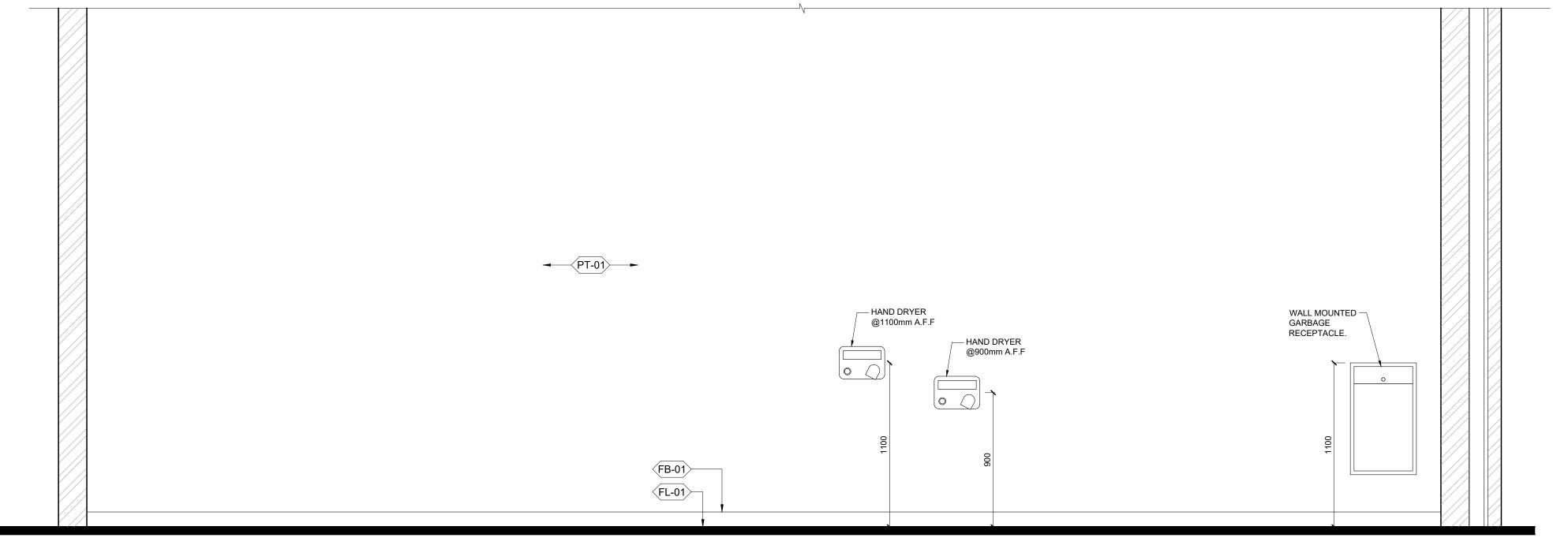
drawing nun

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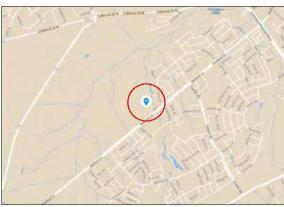


ELEVATION 1



ELEVATION 3

02 male washroom interior elevations



KEY MA



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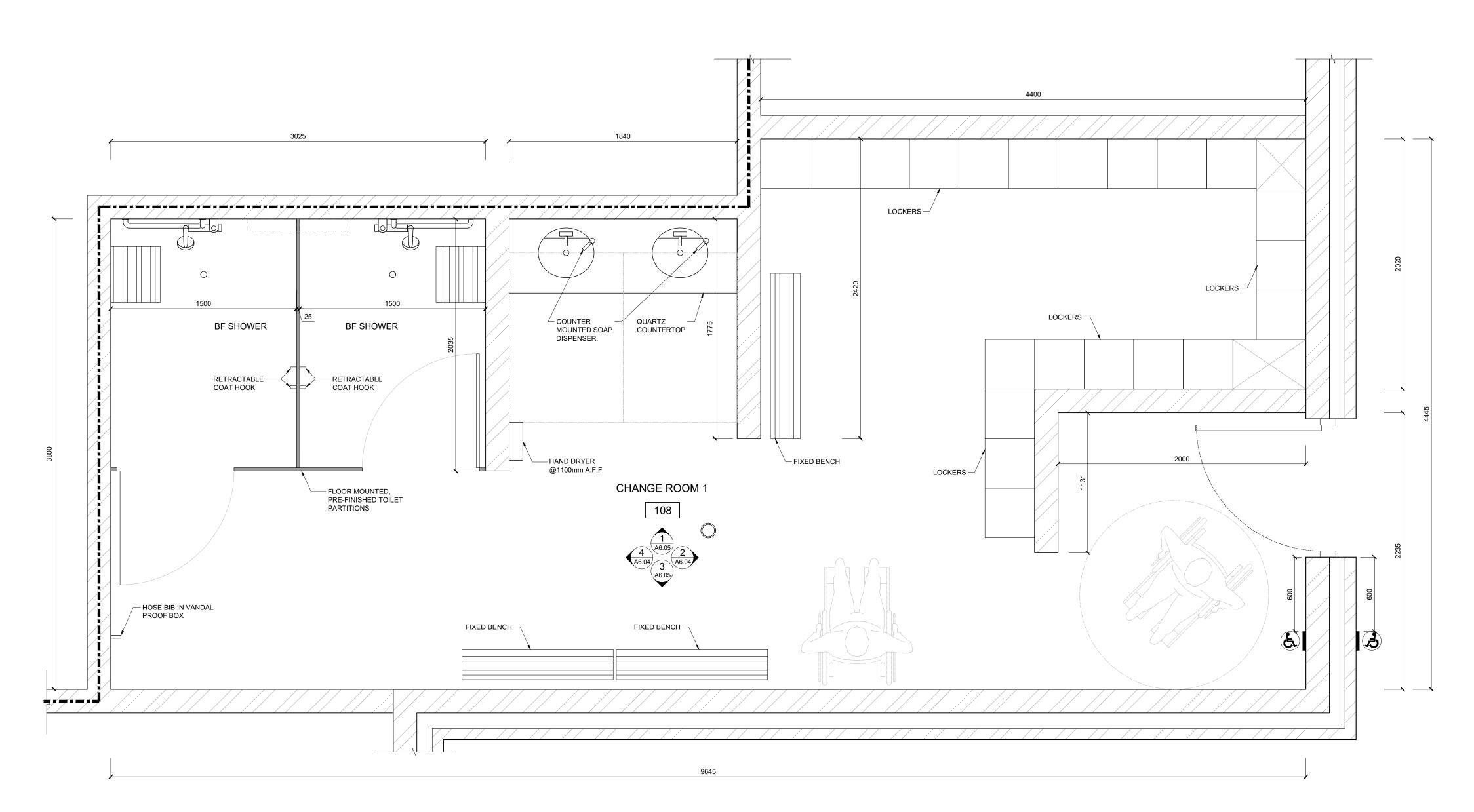
	reviewed by RN	drawn by RN
	date	SEP 2022
	scale	AS SHOWN

ACTIVITY HUB
MALE WASHROOM
DETAILS 2

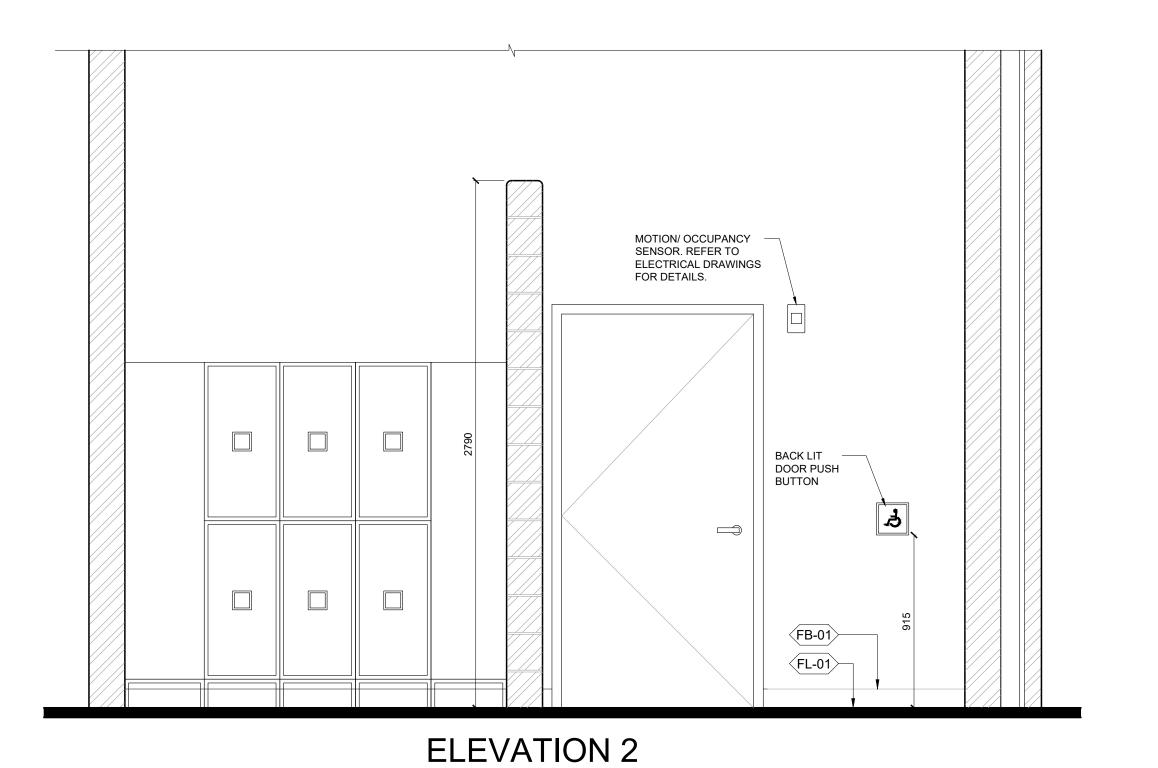
drawing number A6.03

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01 change room 1 detailed plan



MIRROR -PT-01 HAND DRYER @1100mm A.F.F COUNTER MOUNTED SOAP DISPENSER QUARTZ COUNTERTOP — HOSE BIB IN VANDAL PROOF BOX FB-01 600

ELEVATION 4





R8	Issued for Construction	Aug 27/24	RN
R7	R7 Issued for Addendum #6		RN
R7	Revised for Permit	Jul 24/24	RN
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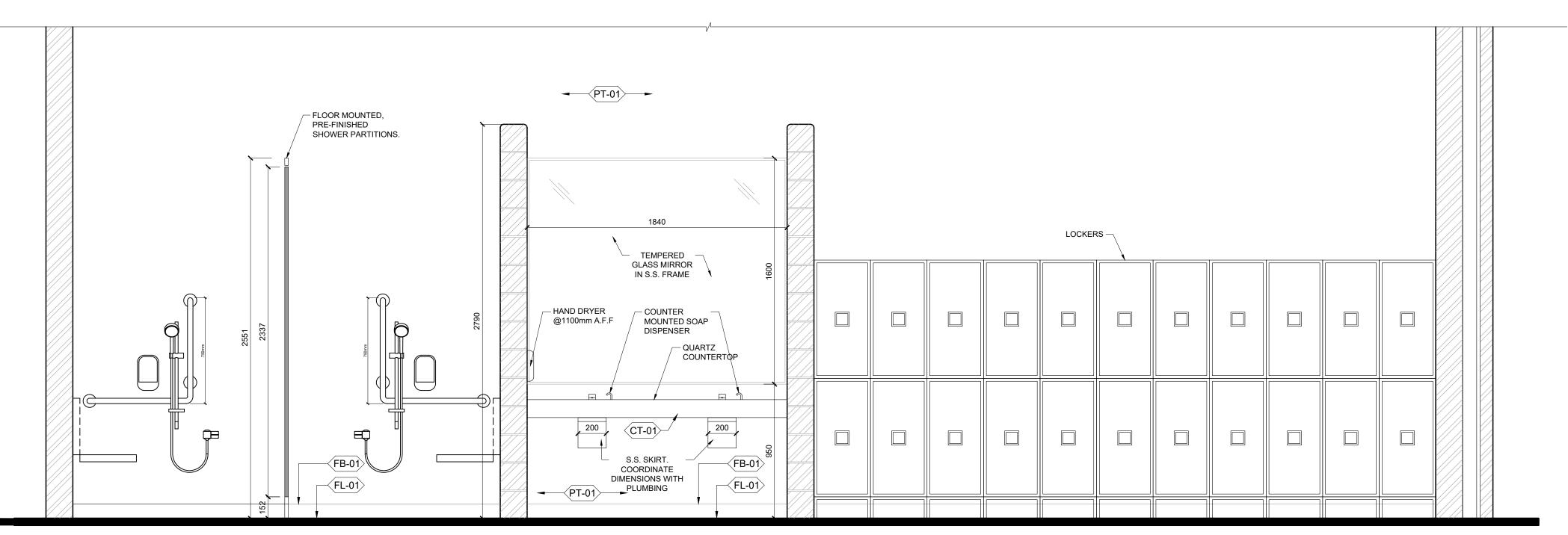
reviewed by RN	drawn by RN
date	SEP 2022
scale	AS SHOWN

drawing title
ACTIVITY HUB **CHANGE ROOM 1 DETAILS 1**

drawing number A6.04

CITY OF BRANTFORD





ELEVATION 1



ELEVATION 3

02 change room 1 interior elevations



KEY MA



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	reviewed by RN	drawn by RN
	date	SEP 2022
	scale	AS SHOWN

ACTIVITY HUB
CHANGE ROOM 1
DETAILS 2

drawing number A6.05

CITY OF BRANTFORD

