

Appendix D: Notice of Intention to Demolish 93 West Street

Notice of Intention to Demolish - 93 West Street City of Brantford's Heritage Register as a Non-Designated, Listed Property

Submitted, on behalf of Westchat Holdings Inc., by:
Courtney Boyd, Waterous Holden Amey Hitchon LLP
20 Wellington Street, Brantford N3T 5V6

BACKGROUND

The Owner of the property known as 93 West Street (the "Property") intends to demolish the Property. The Property is included in the City of Brantford's Heritage Register as a non-designated, listed property. The Property is located at the intersection of West Street and Chatham Street.

An Application for a Permit to Demolish was submitted on August 31, 2020 (see **Appendix A**)

Figure 1: 93 West Street as seen from West Street (September 2, 2022)



Figure 2: 93 West Street as seen from Chatham Street (September 2, 2022)



The Property was added to the City of Brantford's Heritage Register as a non-designated, listed property. The Owner disputes the applicability of the criteria applied to the Property. The Owner further submits that the Property exhibits Low material integrity which makes it a low priority candidate for inclusion of the Heritage Register. In this regard, the demolition of the building should not be opposed.

The Property was determined to meet the following criteria establishing through the Heritage Register Project (see **Appendix B**):

- The property pre-dates the incorporation of the City of Brantford in 1877.
- The property is associated with a mayor.
- The property is a representative example of its architectural style.

Additional information included on the property information sheet is as follows:

The property was the residence of William Watt, who served as mayor from 1882 to 1883.

CONDITION OF PROPERTY

The Property has deteriorated in condition significantly causing it to be of Low material integrity and a health and safety risk.

On May 13, 2021, J.H. Cohoon Engineering Ltd. conducted an inspection of the Property as it relates to its condition (see **Appendix C**). The findings of J.H. Cohoon Engineering were as follows:

- *"The structure is a two-story brick structure that has been modified on several occasions over the past with the creation of multiple apartment units throughout the structure."*
- *"In our opinion, the condition of the building is generally poor with deterioration of the structure occurring as a rapid pace."*
- *"The exterior condition of the building is not in good condition, with evidence of the removal of eavestrough, deterioration of the soffits."*
- *"Soffit, fascia and eave troughs are either not present or deteriorating significantly."*
- *"The front porch roof structure on the structure is not appear (sic) to be structurally sound and are experiencing failures."*
- *"The interior wood frame structure ... areas where the lumber is exposed to the elements and deterioration/rotting is occurring."*
- *"With the failure of the roof membrane ... water is being allowed to enter the building ..."*
- *"... we are of the opinion that the structure is not occupiable and is in the process of collapsing at the current time and we would recommend that that structure be secured until such time as they can be removed."*

- “... structural stability is in question with the extent of the deterioration of the structure.”
- “The restoration of the structures and the ‘re-construction’/ ‘restoration’ of these residences would not be financially feasible given the state of the deterioration that was noted during our site visit.”

The J.H. Cohoon Engineering Ltd. Report contains several photographs of the condition of the Property as of May 13, 2021.

The Property continues to be in disrepair as identified by J.H. Cohoon Engineering. Please see attached as **Appendix D** various photographs of the exterior of the Property dated September 2, 2022.

The Property has been vacant since November 2021. The Property has been subject to unknown trespassers, including those that are responsible for a fire at the Property. The fire caused significant damage to the interior and exterior. The fire has damaged the Italianate features, identified by the heritage registry, beyond repair. Prior to the fire, the exterior of the Property was in disrepair, but the fire has escalated the poor condition of the building.

Figure 4: Fire Damage at 93 West Street (September 2, 2022)





The Property owner states that the building which was previously deemed beyond repair by J.H. Cohoon Engineering has further surpassed any possibility of repair. The fire at the Property has exacerbated the poor structural integrity of the building and any heritage value.

As provided in the Heritage Register Project: Recommendations Report properties that exhibit Low material integrity makes them a low priority candidate for inclusion of the Heritage Register. The Property owner submits that the Property's low material integrity makes it a poor representation of any heritage features. As such, the demolition of the building should not be opposed.

1.1 The property pre-dates the incorporation of the City of Brantford in 1877.

The Property has an MPAC date of 1850. The Owner does not dispute that the original dwelling on the Property may pre-date the incorporation of the City of Brantford in 1877. However, the South portion of the building is an alteration/addition to the original dwelling that does not have

characteristics consistent with the 1850's. The addition can be seen relatively easily from the street of the Property and poses different brick and style.

The characteristics of the South side of the Property does not align with the style of residences in the 1850s. The porch of the addition suggests that the addition was added after the incorporation and approximately in the late 19th century. The Property owner notes that the porch contains features, such as wood spindles and detailed trim that are more akin to late Victorian era.

In the J.H. Cohoon Engineering Ltd. Report (**Appendix C**), the same conclusion was made. Specifically:

the characteristics of the front porch are not typical with residences with an age dating back to the 1850's but it likely an add on feature to the residence during more recent times.

It is submitted that the addition to the Property varies the building age, and it is not accurate to deem the building as having an age of 1850 since it has been substantially altered at a later date. As mentioned, the alteration occurred likely after the incorporation of the City of Brantford.

Figure 4: 93 West Street – Building Addition (September 2, 2022)



1.2 The Property is associated with a mayor.

The Property was identified as the residence of William Watt, who served as mayor from 1882 to 1883. The Owner submits that the timeframe of William Watt's ownership did not align with his time as a mayor.

1.3 The Property is a representative example of its architectural style.

The property information sheet in the Heritage Register Project Report identifies the Property as having an Italianate architectural style. It is noted that Italianate is a representative architectural style meaning that there are more than 50 properties within the City of the same style.

As indicated in the Recommendations Report, representative style is met *only* if the Property is a good representation of that style. It is submitted that the Property is not a good representation of the Italianate style due to its substantial alteration and Low material integrity. Therefore, demolition of the building should not be opposed.

Section 4.3 of the Heritage Register Project: Recommendations Report provides as follows:

Generally, a property that has low integrity retains few or no character-defining features, and/or has been substantially altered. Properties determined to have Low material integrity are not recommended for inclusion on the Heritage Register as these properties retain few or no character-defining features, and/or have been substantially altered.

As mentioned, the Property has an addition that poses features and style that does not align to the Italianate architectural style, but rather that of the late 19th century. The addition and altered style from the original building is visible from the street and substantial in nature.

Further, as mentioned above, the Property has deteriorated in condition significantly causing it to be of Low material integrity. It is the opinion of J.H. Cohoon Engineering that "... structural stability is in question with the extent of the deterioration of the structure" (refer to **Appendix C**).

The Italianate features of the Property, such as the soffits, fascia and brackets had deteriorated beyond repair as of May 2021. The J.H. Cohoon Engineering Report stated that the "*Soffit, fascia and eave troughs are either not present or deteriorating significantly.*"

The fire at the Property since May 2021 has further destroyed the Italianate features of the Property such that the soffits, fascia and brackets have been completely removed on the North and West side of the building and caused substantial damage to the building (refer to **Figure 3**).

It is submitted that the Property should not be included in the Heritage Register based on section 4.3 of the Recommendations Report which does not recommend properties for inclusion that have been substantially altered and has Low material integrity.

Despite the Property's inclusion, the significant deterioration and poor state of the building must be considered in the approval of granting a demolition permit. The building cannot reasonably be repaired from its current state.

CONCLUSION

The Owner seeks to demolish the building on the Property. While the Property has been included in the Heritage Register as a non-designated, listed property, the current criteria are not sufficient to justify opposing the demolition. The Owners seeks the approval of the demolition by council.

APPENDIXES:

Appendix A – Demolition Application

Appendix B – Heritage Register Property Information Sheet

Appendix C – J.H. Cohoon Engineering Ltd. Report dated May 26, 2021


Appendix D – Various Photographs date September 2, 2022

APPENDIX A

Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the *Building Code Act, 1992*

For use by Principal Authority			
Application number:		Permit number (if different):	
Date received:		Roll number:	
Application submitted to: <u>The City of Brantford</u> (Name of municipality, upper-tier municipality, board of health or conservation authority)			
A. Project information			
Building number, street name 93 West Street		Unit number	Lot/con. Pt Lt 1
Municipality Brantford	Postal code N3T 3E7	Plan number/other description s/s Chatham St./City Plan	
Project value est. \$ \$28,000.00		Area of work (m ²)	
B. Purpose of application			
<input type="checkbox"/> New construction	<input type="checkbox"/> Addition to an existing building	<input type="checkbox"/> Alteration/repair	<input checked="" type="checkbox"/> Demolition
		<input type="checkbox"/> Conditional Permit	
Proposed use of building		Current use of building	
Description of proposed work Demolition.			
C. Applicant			
Applicant is: <input type="checkbox"/> Owner or <input checked="" type="checkbox"/> Authorized agent of owner			
Last name Hitchon	First name James	Corporation or partnership Waterous Holden Amey Hitchon LLP	
Street address 20 Wellington Street		Unit number	Lot/con.
Municipality Brantford	Postal code N3T 5V6	Province Ontario	E-mail jhitchon@waterousholden.com
Telephone number 519-751-6410	Fax 519-759-8360	Cell number 519-754-6356	
D. Owner (if different from applicant)			
Last name	First name	Corporation or partnership Westchat Holdings Inc.	
Street address c/o 96 Nelson Street		Unit number	Lot/con.
Municipality Brantford	Postal code N3T 5N3	Province Ontario	E-mail
Telephone number 519-759-3511	Fax	Cell number	

E. Builder (optional)				
Last name		First name	Corporation or partnership (if applicable) Clean Shot Environmental Services	
Street address 171 Pleasant Ridge Road			Unit number	Lot/con.
Municipality Brantford		Postal code N3T 5L5	Province Ontario	E-mail nsisler@cleanshot.ca
Telephone number 888-632-6658		Fax 866-593-7858		Cell number
F. Taron Warranty Corporation (Ontario New Home Warranty Program)				
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?			<input type="checkbox"/> Yes	<input type="checkbox"/> No
iii. If yes to (ii) provide registration number(s): _____				
G. Required Schedules				
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.				
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.				
H. Completeness and compliance with applicable law				
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .			<input type="checkbox"/> Yes	<input type="checkbox"/> No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
iv) The proposed building, construction or demolition will not contravene any applicable law.			<input type="checkbox"/> Yes	<input type="checkbox"/> No
I. Declaration of applicant				
James A. Hitchon (print name)			declare that:	
1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge. 2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.				
August 31, 2020 Date		 Signature of applicant		

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416) 585-6666.

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information					
Building number, street name				Unit no.	Lot/con.
Municipality	Postal code	Plan number/ other description			
B. Individual who reviews and takes responsibility for design activities					
Name			Firm		
Street address				Unit no.	Lot/con.
Municipality	Postal code	Province	E-mail		
Telephone number	Fax number		Cell number		
C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]					
<input type="checkbox"/> House <input type="checkbox"/> Small Buildings <input type="checkbox"/> Large Buildings <input type="checkbox"/> Complex Buildings		<input type="checkbox"/> HVAC – House <input type="checkbox"/> Building Services <input type="checkbox"/> Detection, Lighting and Power <input type="checkbox"/> Fire Protection		<input type="checkbox"/> Building Structural <input type="checkbox"/> Plumbing – House <input type="checkbox"/> Plumbing – All Buildings <input type="checkbox"/> On-site Sewage Systems	
Description of designer's work					
D. Declaration of Designer					
I _____ declare that (choose one as appropriate): <div style="text-align: center;">(print name)</div> <p>I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4. of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.</p> <p>Individual BCIN: _____</p> <p>Firm BCIN: _____</p> <p>I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.</p> <p>Individual BCIN: _____</p> <p>Basis for exemption from registration: _____</p> <p>The design work is exempt from the registration and qualification requirements of the Building Code.</p> <p>Basis for exemption from registration and qualification: _____</p> <p>I certify that:</p> <ol style="list-style-type: none"> The information contained in this schedule is true to the best of my knowledge. I have submitted this application with the knowledge and consent of the firm. <div style="display: flex; justify-content: space-between; margin-top: 20px;"> <div>_____</div> <div>_____</div> </div> <div style="display: flex; justify-content: space-between;"> <div>Date</div> <div>Signature of Designer</div> </div>					

NOTE:

- For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1)(c) of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.
- Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

Schedule 2: Sewage System Installer Information

A. Project Information			
Building number, street name		Unit number	Lot/con.
Municipality	Postal code	Plan number/ other description	
B. Sewage system installer			
Is the installer of the sewage system engaged in the business of constructing on-site, installing, repairing, servicing, cleaning or emptying sewage systems, in accordance with Building Code Article 3.3.1.1, Division C?			
<input type="checkbox"/> Yes (Continue to Section C)		<input type="checkbox"/> No (Continue to Section E)	
		<input type="checkbox"/> Installer unknown at time of application (Continue to Section E)	
C. Registered installer information (where answer to B is "Yes")			
Name		BCIN	
Street address		Unit number	Lot/con.
Municipality	Postal code	Province	E-mail
Telephone number	Fax	Cell number	
D. Qualified supervisor information (where answer to section B is "Yes")			
Name of qualified supervisor(s)		Building Code Identification Number (BCIN)	
E. Declaration of Applicant:			
<p>I _____ declare that:</p> <p style="text-align: center;">(print name)</p> <p>I am the applicant for the permit to construct the sewage system. If the installer is unknown at time of application, I shall submit a new Schedule 2 prior to construction when the installer is known;</p> <p><u>OR</u></p> <p>I am the holder of the permit to construct the sewage system, and am submitting a new Schedule 2, now that the installer is known.</p> <p>I certify that:</p> <ol style="list-style-type: none"> 1. The information contained in this schedule is true to the best of my knowledge. 2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership. <p>_____</p> <p style="display: flex; justify-content: space-between;"> Date Signature of applicant </p>			

SCHEDULE 'D'

CITY OF BRANTFORD MUNICIPAL CODE CHAPTER 429 - ARTICLE 11 - DEMOLITION PERMIT

ADDRESS OF PROPOSED DEMOLITION: 93 West Street, Brantford, Ontario N3T 3E7

APPLICANT: <u>James A. Hitchon</u>	OWNER: <u>Westchat Holdings Inc.</u>
Address: <u>20 Wellington Street</u>	Address: <u>c/o 96 Nelson Street</u>
<u>Brantford, Ontario N3T 5V6</u>	<u>Brantford, Ontario N3T 5N3</u>
Telephone: <u>519-751-6410</u>	Telephone: <u>519-759-3511</u>
Email: <u>jhitchon@waterousholden.com</u>	Email: _____

PRESENT BUILDING USE: Residential

TOTAL BUILDING AREA: 2000 sq ft

Number of single detached or semi-detached dwelling units to be demolished	<u>1</u>
Number of townhouse/row-house dwelling units to be demolished	<u>None</u>
Number of apartments with a gross floor area greater than 70 sq.m. to be demolished	<u>None</u>
Number of apartments with a gross floor area less than 70 sq.m. to be demolished	<u>None</u>
Gross floor area of non-residential uses to be demolished	<u>None</u>

Public Way Protection - Occupational Health and Safety Act Ontario Regulation 213/91 - Construction Projects

- (1) No work shall be carried out on a building or structure located within 4.5 metres of a public way unless a covered way is constructed over the part of the public way that is adjacent to the project. O. Reg. 213/91, s. 64 (1).
- (2) Subsection (1) does not apply with respect to a building or structure if the work being done is enclosed. O. Reg. 213/91, s. 64 (2).
- (3) A covered way,
- (a) shall have an unobstructed height of not less than 2.4 metres;
- (b) shall have an unobstructed width of not less than 1.1 metres or, if it is over a sidewalk that is less than 1.1 metres wide, have a width equal to the width of the sidewalk;
- (c) shall be capable of supporting any load likely to be applied to it and capable of supporting a load of at least 2.4 kilonewtons per square metre;
- (d) shall have a weather-tight roof;
- (e) shall have the side adjacent to the project covered with a partition that has a smooth surface on the public way side;
- (f) shall have a railing one metre high from ground level on the street side; and
- (g) shall have adequate lighting within the public way. O. Reg. 213/91, s. 64 (3).

A site plan must be provided with this application indicating the area of demolition with distances to the adjacent property lines. If public way protection is required a Hoarding Permit must be obtained from the City of Brantford.

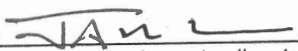
NOTES:

A demolition/removal permit cannot be issued until a completed demolition application has been submitted (including a site plan indicating the areas of demolition and distances to property lines), the information on the both sides of this schedule has been completed and received and all fees have been paid.

No demolition/removal work can begin until a permit has been issued.

It is the responsibility of the owner (or his agent) to make sure that the following inspections are called for at the stages of construction at least 48 hours in advance:

- Prior to the commencement of any work
- Prior to backfilling after capping-off sewers
- When all work is completed and the site cleared and levelled


SIGNATURE (I have read and agree to adhere to the above noted items)
Owner or Authorized Agent of the Owner

August 31/2020
DATE

CITY OF BRANTFORD, BUILDING DEPARTMENT
100 Wellington Square, N3T 2M2; TELEPHONE (519) 759-4150; FAX: 752-1874
MAILING ADDRESS: P.O. Box 818, BRANTFORD, ON N3T 5R7

THE FOLLOWING BUILDINGS/STRUCTURES ARE PROPOSED TO BE DEMOLISHED WITHIN THE CITY OF BRANTFORD:

Address: 93 West Street, Brantford, Ontario N3T 3E7

Use of building(s): Residential

TO COMPLETE THE DEMOLITION PERMIT PROCESS THE FOLLOWING AGENCIES MUST BE NOTIFIED. COMPLETING THE STEPS IN ORDER WILL HELP AVOID DELAY IN THE DEMOLITION PERMIT PROCESS IF COUNCIL APPROVAL IS REQUIRED, WHICH IS A PROCESS THAT CAN TAKE UP TO 4 MONTHS. THE APPLICANT MUST RETURN THIS COMPLETED SIGNED FORM TO THE BUILDING DEPARTMENT.

STEP 1 – Planning Approvals – To be completed first. Applicant to contact Planning Department for clearance. Planning Department, 2nd Floor, City Hall, 519-759-4150, or Email Victoria Coates at VCoates@brantford.ca.

Approval under the Ontario Heritage Act

Is the property designated under the *Ontario Heritage Act* or listed on the Heritage Register?

- a) Yes, designated under the *Ontario Heritage Act* or listed on the Heritage Register ☐
- Review by Heritage Committee required
 - Council approval required
 - Council Report Number _____
 - Council Approval Date _____

- b) No, not designated and not listed ☐
- Review by Heritage Committee not required
 - Council approval not required
 - Staff Initials _____ Date _____

Approval under the Demolition Control By-law

Is the application subject to Demolition Control By-law 156-2019?

- a) No ☐
- Review by Heritage Committee not required
 - Council approval not required
 - Staff Initials _____ Date _____

- b) Yes ☐

i. Is the demolition classified as a Routine Application under By-law 156-2019?

- ☐ Yes, it is a Routine Application
- If applicable, application # for Site Plan, Subdivision, Condominium, Building Permit, Minor Variance, or Consent _____
 - Review by the Heritage Committee not required
 - Council approval not required
 - Staff Initials _____ Date _____

- ☐ No, it is a Non-Routine Application
- Specify the reason for demolition: _____
 - Provide supporting photographs, site plan, rationale for demolition
 - Year of building construction _____
 - Review by Heritage Committee required if building is older than 40 years
 - Council approval required
 - Council Report Number _____
 - Council Approval Date _____

Planning Department Sign Off

Staff Signature _____ Date _____

STEP 2 – Engineering Approval – After completing STEP 1, or in conjunction with, applicant to contact Engineering Department for clearance. Engineering Department, 1st Floor, City Hall (519-759-4150), Fax (519-754-0724), Email (sitealt@brantford.ca)
Please Note: Fax or Email should state "Demolition Application" in Subject Line

Demolition is subject to a Site Alteration Permit: Yes ☐ No ☐ Site Alteration Permit Number: _____

Signature: _____ Date: _____ Date Site Alteration Permit Issued: _____

STEP 3 – Utilities Approvals – After completing STEP 2 Applicant to circulate to the following agencies for clearance and return completed form(s) to the Brantford Building Department

BRANTFORD POWER INC., 220 COLBORNE ST. 519-751-3522, Fax 519-756-6041 or Email customerservices@brantfordpower.ca

Hydro Service is disconnected and meter removed: _____ Date: _____

Signature: _____ Date: _____

BRANTFORD CUSTOMER SERVICES-UTILITIES, 220 COLBORNE ST. 519-756-1360, Fax 519-753-9884, Email customerservices@brantford.ca

City Water Service is disconnected and meter removed: _____ Date: _____

Signature: _____ Date: _____

Fibre Service is disconnected and removed: _____ Date: _____

Signature: _____ Date: _____

UNION GAS COMPANY 1-855-228-4898 Ext. 5111122, Fax 1-866-263-0581 or Email branplan@uniongas.com

Gas Service is disconnected and meter removed: _____ Date: _____

Signature: _____ Date: _____

BELL CANADA, 86 MARKET ST. (Call To Arrange Entrance), 519-751-3994, Fax 519-758-3127 or Email steven.bain@bell.ca

Telephone Service is disconnected and removed: _____ Date: _____

Signature: _____ Date: _____

ROGERS COMMUNICATION PARTNERSHIP 1-519-895-6076, Fax 519-893-6463 or Email thomas.pearson@rci.rogers.com

Cable Service is disconnected and removed: _____ Date: _____

Signature: _____ Date: _____

FIRE DEPARTMENT, 60 CLARENCE STREET 519-752-0540, Fax 519-752-7083 or Email fire@brantford.ca

Signature: _____ Date: _____

Appendix B

Address: **93 WEST ST**

ASI ID: 9137

City Area: **Central Ward and East Ward South**

Development Theme: **Residential**

Architectural Style: **Italianate**

Date of Construction
in Existing Inventory: **1850**

MPAC Date: **1850**

Identifying Image:



Criteria Met:

- The property pre-dates the incorporation of the City of Brantford in 1877.
- The property is associated with a mayor.
- The property is a representative example of its architectural style.

Additional Information: The property was the residence of William Watt, who served as mayor from 1882 to 1883.



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Appendix C

J.H. COHOON ENGINEERING LIMITED

CONSULTING ENGINEERS

440 Hardy Road, Unit #1, Brantford, ON N3T 5L8
Tel: (519) 753-2656 Fax: (519) 753-4263
www.cohooneng.com

May 26, 2021 (2)

Waterous Holden Amey Hitchon
20 Wellington Street
Brantford, Ontario
N3T 5V6

Attention: Mr. J. Hitchon

Re: Existing Residences
MN 93 West Street
Brantford, Ontario
Condition Review

Dear Sir:

In response to your request, our staff has attended the above noted site to review the condition of the above noted dwellings and have included a series of photographs taken at the site during our site visit. The inspection was undertaken on May 13, 2021 with Mr. J. Hitchon providing access to our staff at that time. The inspection was based upon visual observations and notes prepared subsequent to that visit.

The intent of our review was to determine the status of the structure and their availability for occupancy in the original use as multiple dwelling units.

The buildings appear to have been in the process of being vacated as a result of the overall condition of the building.

The structure is a two-story brick structure that has been modified on several occasions over the past with the creation of multiple apartment units throughout the structure. At the time of our visit, it appeared that most of the units were vacant.

The structure appears to be a brick bearing wall structure with wood frame infill structure with a wood frame roof structure. The foundation was identified to be a brick foundation wall with a limited basement existing within the residence.

The construction of this residence appears to have been constructed in was indicated to be in the 1850's. The type of construction is consistent with several other residences of the same age in Downtown Brantford.



The structure is listed on the City of Brantford Heritage registry for architectural appearance of the residence. The listing is due to the previous occupant / owner of the building being a former mayor to the City of Brantford.

The roof structure is a typical wood frame structure that has a "hip style" roof with deep soffits. Architectural brackets support the large soffits. The exterior brick is characterized as typical to that era. The characteristics of the front porch are not typical with residences with an age dating back to the 1850's but is likely an add on feature to the residence during more recent times.

In our opinion, the condition of the building is generally poor with deterioration of the structure occurring at a rapid pace. This condition is a result of lack of ongoing maintenance and a deterioration of the structure. Our firm's visual inspection of the structure results in the following observations:

- The exterior condition of the buildings is not in good condition, with evidence of the removal of eavestrough, deterioration of the soffits. The eaves and soffit materials have deteriorated to the point that the eave trough and likely fallen off the structure. The resulting allowance of water to run off the roof will result in the deterioration of the exterior brick on this structure to occur at a rapid pace.
- The roofing membranes on the structures consist of asphalt shingles which require repair as a result of age. The roofing membrane is not continuous, and water is being allowed to enter the structure. In some locations, deterioration of the roof structure is occurring with deflection of roof members occurring.
- Soffit, fascia, and eave troughs are either not present or deteriorating significantly.
- The front porch roof structure on the structure is not appear to be structurally sound and are experiencing failures.
- The interior wood frame structure appears generally to be in good condition with the exception of those areas where the lumber is exposed to the elements and deterioration / rotting is occurring.
- With the failure of the roof membrane in this residence, water is being allowed to enter the building and is resulting in the following conditions:
 - The ceiling consisting of lath and plaster is failing in various locations in the building
 - The ceiling is falling into the building
 - Evidence of actual holes in the roof were noted
 - Water is being allowed to fall on the floors with the various rooms resulting in the deterioration of the floor structures / finishes.

In our review of the condition of the structures, we are of the opinion that the structure is not occupiable and is in the process of collapsing at the current time and we would recommend that the structure be secured until such time as they can be removed. We would recommend that occupancy of the building be eliminated as the overall structural stability is in question with the extent of the deterioration of the structure. The restoration of the structures and the "re-construction" / "restoration" of these

residences would not be financially feasible given the state of the deterioration that was noted during our site visit. .

I trust that this review meets with your approval. If you have any further questions, please do not hesitate to contact this office.

Yours truly,

J H COHOON ENGINEERING LIMITED

R.W. Phillips, P.Eng.





Photo No. 1 – Picture of Exterior Soffit and Brick Wall

The soffit and fascia on this building has deteriorated with substantial wood rot having occurred. The building does not have eave troughs and downspouts that are functioning on this building.

Portions of the Brick Walls are in need of re-pointing.



Photo No. 2 – Picture of Rear of the Subject Building.

The picture illustrates the deterioration of the exterior features. Lack of Eave trough, and general Condition of the structure.



Photo No. 3 – Similar to Picture No. 2

The picture illustrates the deterioration of the exterior features. Lack of Eave trough, and general Condition of the structure.



Photo No. 4 – Picture of Front Veranda of the Residence

The roof structure is showing signs of deterioration. The Soffit and eaves have rotted away. The Roof structure has deteriorated to the point that substantial deflection of that structure is occurring.

Brick Cracking has been seen in the picture. The remaining portions of the Brick Walls are in need of re-pointing.



Photo No. 5 – Picture of Front Veranda of the Residence

The roof structure is showing signs of deterioration. The Soffit and eaves have rotted away. The upper soffit and fascia are also showing signs of deterioration without eaves and downspouts being present.

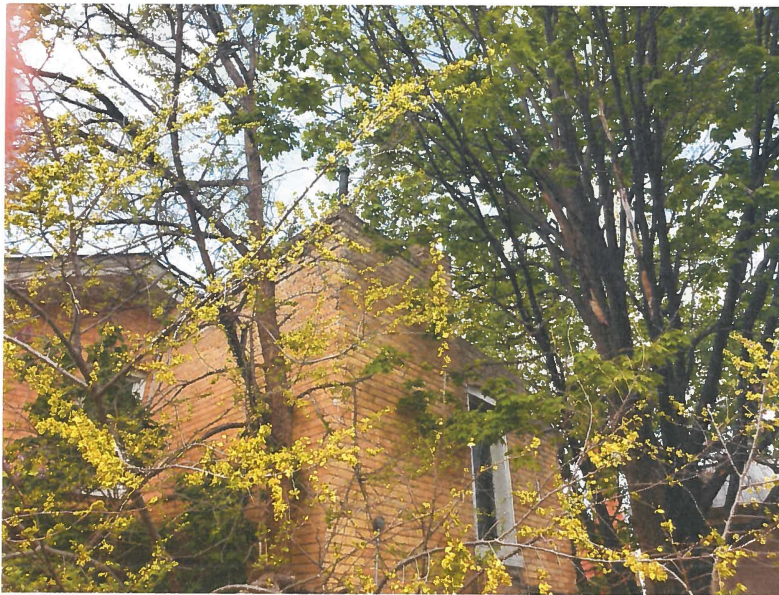


Photo No. 6– Picture of North wall of the Residence

The brick work of the structure is being shown.



Photo No. 7 – Picture of condition of the brick work on portions of the building.

The brick is showing the need for being repaired and repointed.

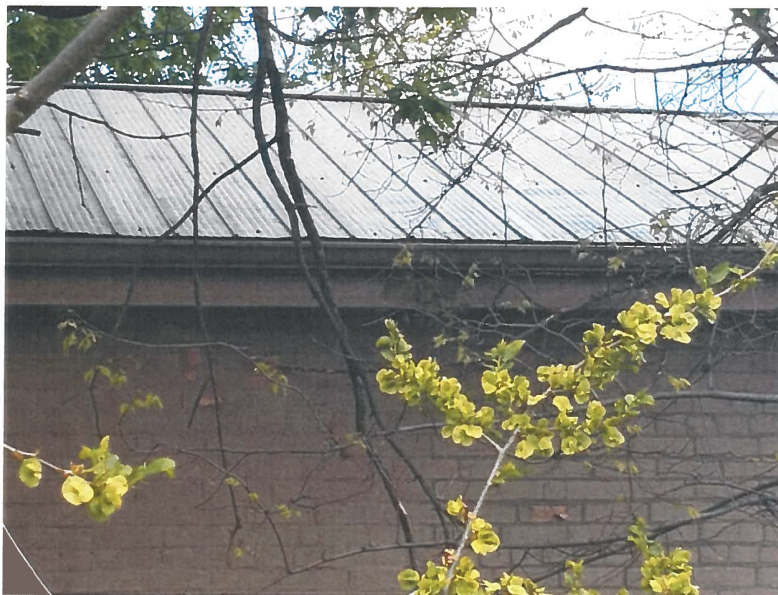


Photo No. 8 – Picture of Rear Garage of the Property.

The garage is located on the property and encroaches onto the neighbouring property. The roof although being a metal roof membrane is showing some signs of distress with the deflection of portions of the roof. This appears to be a result of the deterioration of

the under-roof structure (although access to the garage was not available at the time of our inspection).

The brick work of the garage structure is being shown which illustrates that this is also in the need of repair and re-pointing.



Photo No. 9 –Interior Picture of the upper dining area.

Water damage is apparent that in this locations whereas the plaster has fallen off the underlying lath structure. This is evidence of the water penetration of the roof structure into the residence.

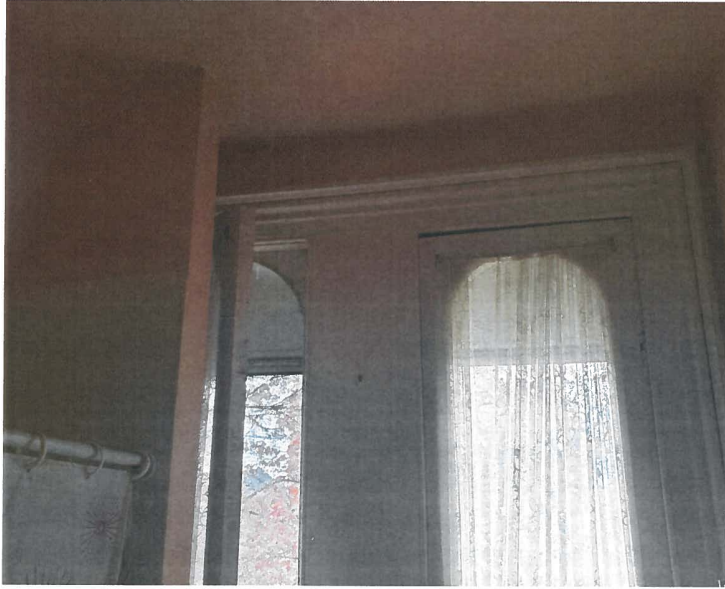


Photo No. 10 – General Picture of the Interior of the Residence



Photo No. 11 – Additional Picture of the Interior of the Residence

The cracking in the ceiling appears to be as a result of water entry



Photo No. 12 – Picture of interior of the Residence

These photos indicate that water damage is occurring throughout the residence. The roof membrane / asphalt shingles are not providing the protection for the water entry into the building

The ceiling is experiencing deterioration as a result the penetration of water into the residence.



Photo No. 13 – Additional picture of interior of the Residence

These photos indicate that water damage is occurring throughout the bulkhead over the window. The entry of the water is likely as a result of the roof system deterioration.



Photo No. 14 – Picture of interior of the Residence

Again, the water penetration into the structure is resulting in the deterioration of the interior finishes

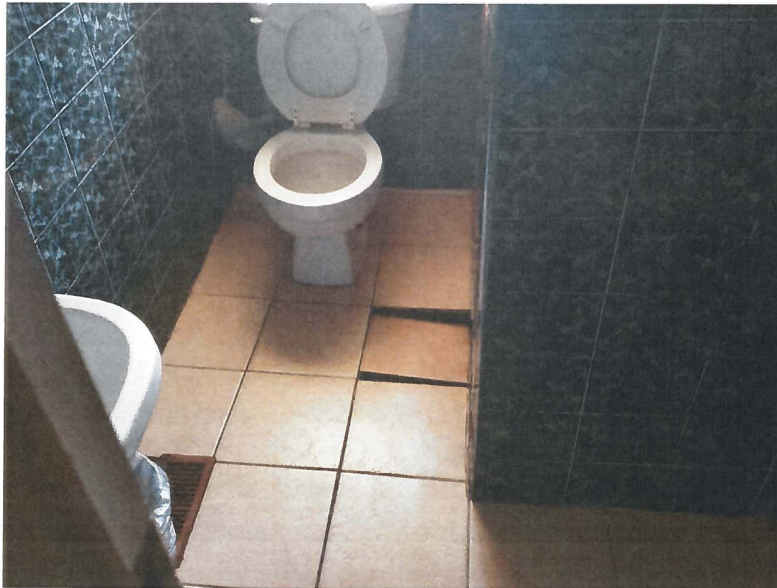


Photo No. 15 – Picture of interior Washroom (Upper level)

The photograph indicates an issue with the structure of the floor within the bathroom. We would anticipate that water penetration into the structure is affecting the structure of the building resulting in the displacement of the tile



Photo No. 16 – Picture taken in the basement of the residence

The basement / foundation is a brick foundation that has been modified over the years



Photo No. 17 – Additional Picture of the Basement areas



Photo No. 18– Picture of Basement of the structure



Photo No. 19 – Picture of interior of the Residence

These photos indicate that water damage is occurring throughout the residence. The roof membrane / asphalt shingles are not providing the protection for the water entry into the building

The ceiling is experiencing deterioration as a result the penetration of water into the residence and is collapsing in places.

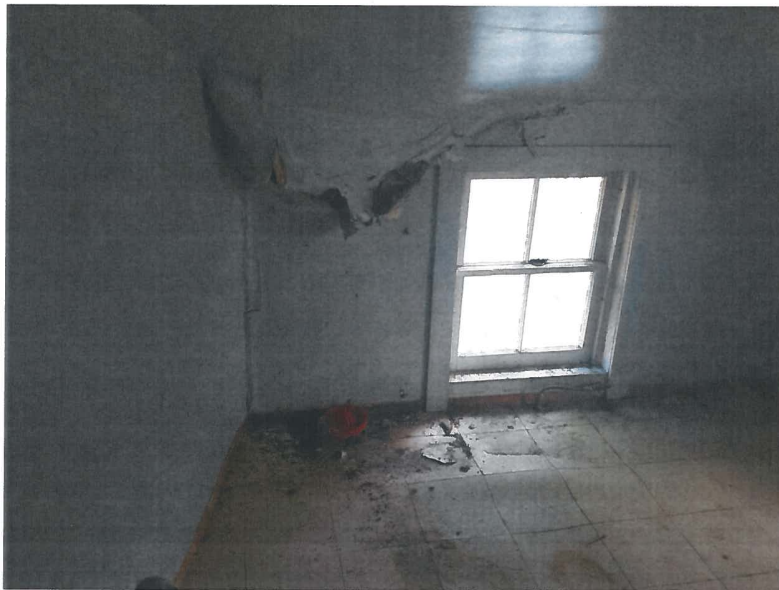


Photo No. 20 – Picture of interior of the Residence

These photos indicate that water damage is occurring throughout the residence. The roof membrane / asphalt shingles are not providing the protection for the water entry into the building

The ceiling is experiencing deterioration as a result the penetration of water into the residence and is collapsing in places.

Further evidence of lack of protection of the interior of the residence.



Photo No. 21 – Picture of interior of the Residence (Upper Washroom)

These photos indicate a lack of maintenance of the interior of the residence / units. Damage to the interior finishes is occurring as a result of the lack of maintenance.



Photo No. 22 – Picture of interior of the Residence

These photos indicate that water damage is occurring throughout the residence. The roof membrane / asphalt shingles are not providing the protection for the water entry into the building

The ceiling is experiencing deterioration as a result the penetration of water into the residence and is collapsing in places.

Further evidence of lack of protection of the interior of the residence.



Photo No. 23 – Picture of interior of the Residence

This photo is taken in the vicinity of those areas whereas the ceiling is collapsing. The roof membrane / asphalt shingles are not providing the protection for the water entry into the building

The ceiling is experiencing deterioration as a result the penetration of water into the residence and is collapsing in places.

The insulation and roof materials are falling into the residence.



Photo No. 24 – Picture of interior of the Residence

These photos indicate that water damage is occurring throughout the residence. In fact, holes in the roof are resulting in the deterioration of the interior finish. No protection in these areas to prevent water from entering the structure



Photo No. 25 – Picture of interior of the Residence

This picture indicates the water damage that is occurring to the ceiling membrane as indicate in a series of photographs. In addition, brick staining is evidence that water is entering the interior and running down the walls. The white efflorescence is evidence of the water entry. The brick (likely a bearing wall in the structure) is in need of re-pointing and repair.



Photo No. 26 – Further evidence of water penetration in the upper levels of the residence.



Photo No. 27 – Further evidence of water penetration in the upper levels of the residence.

Appendix D

























